

HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER

RFP-19-HHL-007

ADDRESS: 2200 FARRINGTON AVE.,
HO'OLEHUA, MOLOKA'I, HAWAII 96729

TMK: (2) 5-2-015:053

PROJECT TEAM

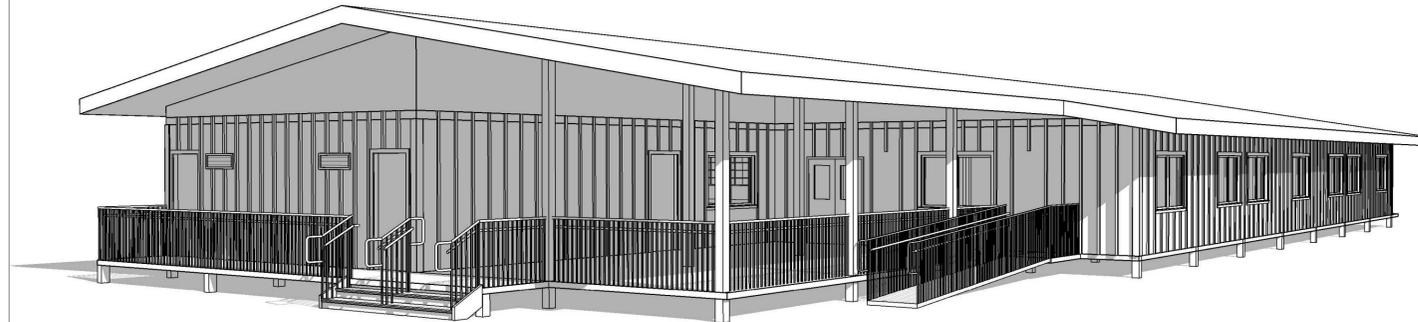
OWNER/CLIENT:
DEPARTMENT OF HAWAIIAN HOME LANDS
91-5420 KAPOLEI PKWY, KAPOLEI, HI 96707

CIVIL/ARCHITECT:
G70
111 S. KING STREET SUITE 170
HONOLULU, HAWAII 96813

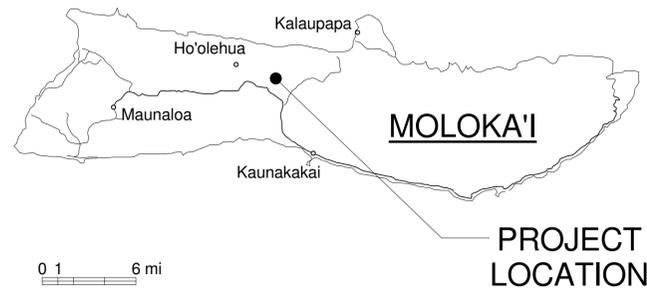
STRUCTURAL ENGINEER:
TANIMURA & ASSOCIATES INC
925 BETHEL ST # 309, HONOLULU, HI 96813

MECHANICAL ENGINEER:
RANDOLPH H MURAYAMA & ASSOCIATES
1267 YOUNG ST, HONOLULU, HI 96814

ELECTRICAL ENGINEER:
ALBERT CHONG ASSOCIATES INC
1117 KAPAHULU AVE, HONOLULU, HI 96816



LOCATION MAP



VICINITY MAP

ACKNOWLEDGEMENTS

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

TITLE SHEET

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION** JUNE 2019

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INDEX TO DRAWINGS

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PROJECT INFORMATION

CODE DIAGRAM

GENERAL

LOT SIZE:
 EXISTING FLOOR AREA: 8400SF
 EXISTING PERIMETER: 380'-0"
 TOTAL PERIMETER > 30'-0"
 OPEN = 275'-0"

TAX MAP KEY

(2) 5-2-015:053

SCOPE OF WORK

MODULAR DESIGN FOR NEW COMMUNITY CENTER WITH MULTI-PURPOSE, CLASSROOM, KITCHEN AND OFFICES, SITE IMPROVEMENTS TO INCLUDE PARKING LOT, SIDEWALKS AND UTILITY SERVICES.

REFERENCE CODES

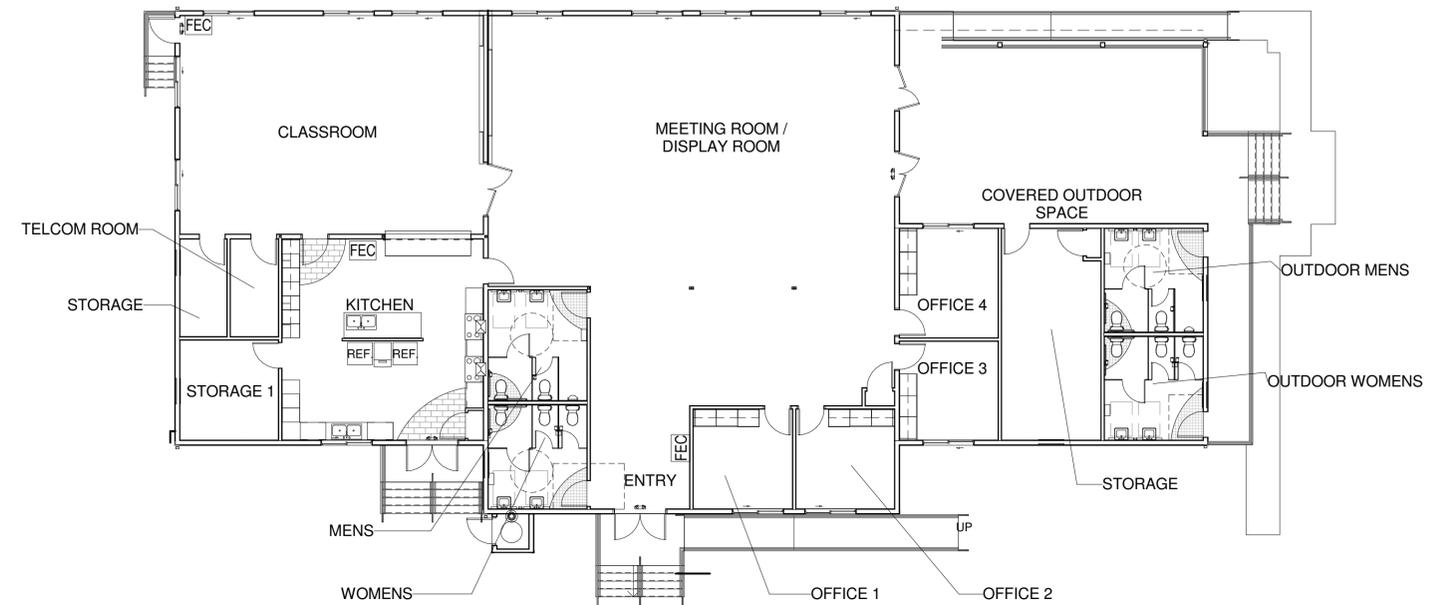
BUILDING CODE: (OAHU/MAUI/HAWAII/KAUAI) COUNTY CODE - INTERNATIONAL BUILDING CODE 2006
 ACCESSIBILITY: AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
 ENERGY CODE: (OAHU/MAUI/HAWAII/KAUAI) MODEL ENERGY CODE

ZONING

MAUI ZONING ORDINANCE
 PARKING:
 CLUBHOUSE (1 STALL: 200 S.F.): 32 STALLS

SANITARY FACILITIES

ALLOWABLE MINIMUM SANITARY FACILITIES PER UNIFORM PLUMBING CODE (1991,1997)



CODE - FLOOR PLAN

BUILDING CODE NOTES

OCCUPANCY: OCCUPANCY A-3 - TRAINING AND SKILLED DEVELOPMENT NOT WITHIN A SCHOOL

CONSTRUCTION TYPE: V-B NON-SPRINKLERED

PROPOSED BUILDING AREA: 6,342 SF
 BASE ALLOWABLE BUILDING AREA (TABLE 503): 6,000 SF

SECTION 506.2 FRONTAGE INCREASE
 $274'-0" / 380'-0" = 0.724 = 0.72$
 $0.72 - 0.25 = 0.47 = 47\% \text{ BONUS}$

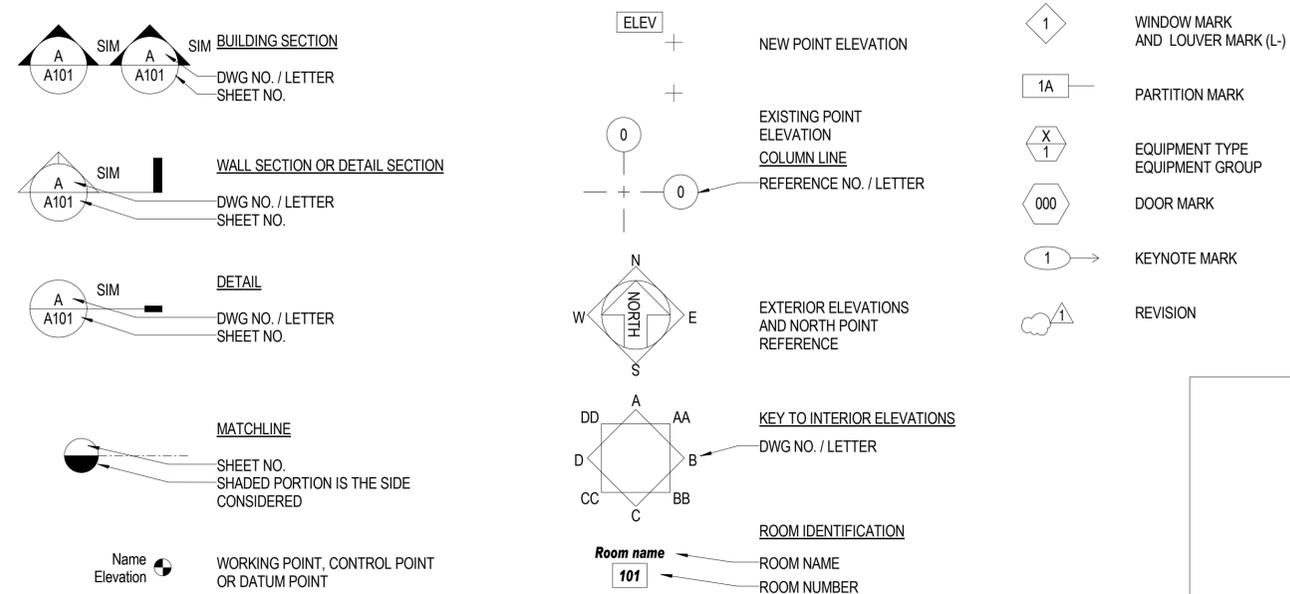
TOTAL ALLOWABLE AREA
 $6,000 \text{ S.F.} \times 1.47 = 8,820 \text{ S.F.}$ EXCEEDS PROPOSED BUILDING AREA

MAX HEIGHT: 26'

MAX STORIES: 1-STORY

FLOOD ZONE: AE 10'
 CURRENT ELEVATION: FINISH FLOOR 7.70', FLOOD PROTECTION PROVIDED TO 10'

SYMBOLS



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PROJECT INFORMATION CODES AND
 CODE DIAGRAMS, SYMBOLS

**OWNER'S SAMPLE DESIGN
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FILE	POCKET	FOLDER	NO.

ABBREVIATIONS

&	AND	DW	DISH WASHER	JAL	ALOUSIE	REBAR	REINFORCING BAR
@	ANGLE	DWG	DRAWING	JAN	JANITOR	REC	RECESSED
	AT	DWR	DRAWER	JB	JUNCTION BOX	REF	REFERENCE
	CENTER LINE			JC	JANITOR'S CLOSET	REINF	REINFORCED OR REINFORCING
	DIAMETER	E	EAST	JST	JOIST	REQD	REQUIRED
'	FOOT; FEET	EA	EACH	JT	JOINT	RESIL	RESILIENT
"	INCH	EC	ELASTOMERIC COATING			REV	REVISED, REVISION OR REVERSED
%	PERCENT	EFS	EXTERIOR FINISH	KIT	KITCHEN	RF	ROOF, RESILIENT FLOOR
#	PERPENDICULAR	EIFS	EXTERIOR INSULATION & FINISH SYSTEM			RFG	ROOFING
	POUND OR NUMBER	EJ	EXPANSION JOINT	L	LENGTH OR LONG	RGH	ROUGH
A/C	AIR CONDITIONING	EL	ELEVATION	LAB	LABORATORY	RGTR	REGISTER
AB	ANCHOR BOLT	ELEC	ELECTRICAL	LAM	LAMINATE OR LAMINATED	RH	ROBE HOOK, RIGHT HAND
ABBREV	ABBREVIATION	ELEV	ELEVATOR	LAV	LAVATORY	RM	ROOM
ABV	ABOVE	ENCL	ENCLOSURE	LDG	LANDING	RND	ROUND
AC	ASPHALT CONCRETE			LF	LINEAR FOOT	RO	ROUGH OPENING
ACT	ACOUSTICAL TILE	EPS	EXPANDED POLYSTYRENE	LH	LEFT HAND	RWC	RAIN WATER CONDUCTOR
ACOUS	ACOUSTICAL	EQ	EQUAL	LOC	LOCATION	RWD	REDWOOD
AD	ADJUSTABLE	EQPT	EQUIPMENT	LT	LIGHT	RWL	RAIN WATER LEADER
ADD	ADDITIVE, ADDENDUM	EXP	EXPANSION	LP	LOW POINT		
ADJ	ADJUSTABLE	EWC	ELEC. WATER COOLER	LVR	LOUVER	S	SOUTH
		EXIST	EXISTING	EXT	EXTERIOR	SA	SINGLE ACTING
ADJA	ADJACENT	EXT	EXTERIOR	MAR	MARBLE	SAFB	SOUND ATTENUATION FIRE BLANKET
ADJA	ADJACENT			MAX	MAXIMUM		
AFP	ABOVE FINISH FLOOR	FA	FIRE ALARM	MAT	MATERIAL	SB	SPLASH BLOCK
AGGR	AGGREGATE	FAB	FABRICATE	MC	MEDICINE CABINET	SC	SCALE OR SOLID CORE
AHU	AIR HANDLING UNIT	FAEM	FLUID APPLIED ELASTOMERIC MEMBRANE	MECH	MECHANICAL	SCD	SEAT COVER DISPENSER
ALUMUM	ALUMINUM	FB	FLAT BAR	MEMB	MEMBRANE	SCHED	SCHEDULE
		FCU	FAN COIL UNIT	MET/MTL	METAL	SCH	SCHEDULE
ALT	ALTERNATE	FD	FLOOR DRAIN	MFR	MANUFACTURER	SD	SOAP DISPENSER OR SMOKE DETECTOR
ANOD	ANODIZED	FDN	FOUNDATION	MH	MANHOLE OR MOP HOLDER	SEC	SECTION
APPROX	APPROXIMATE	FE	FIRE EXTINGUISHER	MIN	MINIMUM	SEP	SEPARATION
ARCH	ARCHITECTURAL	FEC-S	FIRE EXTINGUISHER CABINET-SURFACE	MIRR	MIRROR	SF	SQUARE FOOT
		FEC-SR	FIRE EXTINGUISHER CABINET-SEMI RECESSED	MISC	MISCELLANEOUS	SH	SHELF
BD	BOARD	FEC-R	FIRE EXTINGUISHER CABINET-RECESSED	MLDG	MOLDING	SHR	SHOWER
BLDG	BUILDING	FF&E	FURNITURE, FIXTURE & EQUIPMENT	MO	MASONRY OPENING	SHT	SHEET
BLKS	BLOCKING	FIN	FINISH	MS	MOP SINK	SHTG	SHEATHING
BLVD	BOULEVARD	FLR	FLOOR	MTD	MOUNTED	SIM	SIMILAR
BM	BEAM	FLASHG	FLASHING	MUL	MULLION	SL	SLOPE
		FLDG	FOLDING	MUN	MUNTIN	SLDG	SLIDING
BOH	BACK OF HOUSE	FLUOR	FLUORESCENT	NIC	NOT IN CONTRACT	SLNT	SEALANT
BOT	BOTTOM	FOC	FACE OF CONCRETE	NOI	NOT IN CONTRACT		
BRKT	BRACKET	FOF	FACE OF FINISH	NOI	NOT IN CONTRACT	SM	SHEET METAL
BS	BOTH SIDES	FOM	FACE OF MASONRY	NTS	NOT TO SCALE	SND	SANITARY NAPKIN DIPOSA
BTWN	BETWEEN	FOS	FACE OF STUDS, SLAB OR STRUCTURE			SP	SOLID PHENOLIC
		FR	FRAME	OA	OVERALL	SPEC	SPECIFICATION
BUR	BUILT-UP ROOFING	FS	FULL SIZE OF FLOOR SINK	OC	ON CENTER	SQ	SQUARE
		FT	FOOT OR FEET	OD	OUTSIDE DIAMETER		
CAB	CABINET	FTG	FOOTING	OFI	OWNER FURNISHED CONTRACTOR INSTALLED		
CB	CATCH BASIN	FURR	FURRING	OFD	OVERFLOW DRAIN	SS	SERVICE SINK
CEM	CEMENT	FUT	FUTURE	OFF	OFFICE	SST	STAINLESS STEEL
CEM PLAS	CEMENT PLASTER	GA	GAUGE	OFOI	OWNER FURNISHED OWNER INSTALLED	ST	STONE
CER	CERAMIC	GALV	GALVANIZED	OH	OVERHANG	STD	STANDARD
CG	CORNER GUARD	GB	GRAB BAR	OI	OWNER INSTALLED	STL	STEEL
CI	CAST IRON	GFRG	GLASS FIBER REINFORCED CONCRETE	OPNG	OPENING	STN	STAIN
CIP	CAST IN PLACE	GI	GALVANIZED IRON	OPP	OPPOSITE	STOR	STORAGE
CJ	CONSTRUCTION OR CONTROL JOINT	GL	GLASS	OVHD	OVERHEAD	STR	STRUCTURAL
CLG	CEILING	GLU-LAM	GLUE LAMINATED	PC	PIECE	STRUC	STRUCTURE
CLO	CLOSET	GR	GRADE	PD	PLANTER DRAIN	SUSP	SUSPENDED
CLR	CLEAR	GND	GROUND	PERIM	PERIMETER	SYM	SYMMETRICAL
CMU	CONCRETE MASONRY UNITS	GR	GRADE	PL	PLATE OR PROPERTY LINE	SYS	SYSTEM
CNTR	COUNTER	GYP	GYPSUM	PLAM	PLASTIC LAMINATE	SW	SWITCH
COL	COLUMN					T	TREAD
CONC	CONCRETE	H	HIGH OR HEIGHT	PLAS	PLASTER	TB	TOWEL BAR
COND	CONDITION	HB	HOSE BIBB	PLEG	PLUMBING	TD	TRENCH DRAIN
CONN	CONNECTION	HC	HOLLOW CORE	PLYWD	PLYWOOD	TEMP	TEMPERED
CONSTR	CONSTRUCTION	HD	HANDICAPPED	PNL	PANEL	THK	THICK
CONT	CONTINUOUS	HDCP	HANDICAPPED	PR	PAIR	THR	THRESHOLD
CONTR	CONTRACTOR			PREFAB	PREFABRICATE	TP	TOILET PARTITION
COP	COPPER			PREP	PREPARATION	TSC-TTD	TOILET SEAT COVER - TOILET TISSUE DISPENSER
CORR	CORRIDOR			PROP	PROPERTY		
CPT	CARPET			PT	PAINT, POINT		
CT	CERAMIC TILE			PTDR	PAPER TOWEL DISPENSER AND RECEPTACLE	TPH	TOILET PAPER HOLDER
CTR	CENTER					TW	TOP OF WALL
CTSK	COUNTERSINK			PTN	PARTITION	TYP	TYPICAL
CW	COLD WATER			PIP	POURED IN PLACE	UON	UNLESS OTHERWISE NOTED
				PIV	POST INDICATE VALVE	UR	URINAL
DA	DOUBLE ACTING			PVC	POLYVINYL CHLORIDE	VCT	VINYL COMPOSITION TILE
DBL	DOUBLE			PVMT	PAVEMENT	VERT	VERTICAL
DD	DECK DRAIN			QT	QUARRY TILE	VIF	VERIFY IN FIELD
DECOR	DECORATIVE			R	RISER, RADIUS	W/	WITH
DEMO	DEMOLITION			RAD	RADIUS	WC	WATER CLOSET
DEPT	DEPARTMENT			RB	RESILIENT BASE	WD	WOOD
DET	DETAIL			RC	RAIN CHAIN	WDW	WINDOW
DF	DRINKING FOUNTAIN			RD	ROOF DRAIN	WH	WALL HYDRANT
DIA	DIAMETER					WJ	WALL JOINT
DIM	DIMENSION					W/O	WITHOUT
DISP	DISPENSER					WP	WATERPROOF
DN	DOWN					WR	WATER RESISTANT
DR	DOOR					WT	WEIGHT
DS	DOWNSPOUT					WHL	WEEP HOLE

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE HONOLULU INCLUDING ALL AMENDMENTS AND AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND THE BEST TRADE PRACTICES.
- ALL WORK SHALL CONFORM TO SEISMIC REQUIREMENTS OF SEISMIC ZONE XX. (SEE STRL DWGS)
- TOP OF ARCHITECTURAL FINISH FLOOR @ 0.00 ELEVATION = XXXX BASED ON U.S. COAST AND GEODETIC SURVEY. ALTERNATIVE: [REFER TO CIVIL DRAWINGS FOR ARCHITECTURAL FINISH FLOOR ELEVATION]
- THE CONTRACTOR SHALL FULLY EXECUTE ALL CONDITIONS OF THE CONTRACT, INCLUDING THE REQUIREMENTS OF THE GENERAL CONDITIONS (AIA DOCUMENT A201).
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING LOCAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY CONDITIONS OF DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH WORK TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND/OR BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS THAT REQUIRE MODIFICATIONS BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL COOPERATE WITH OWNER'S [FF&E, SECURITY, DATA, ETC.] CONTRACTORS FOR SCHEDULING, ACCESS, AND/OR INSTALLATION OF ALL ASSOCIATIVE EQUIPMENT WITHIN THE WORK AREA.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN THE CERTIFICATE OF OCCUPANCY.
- REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS LEGENDS, ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS.
- NOTES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND MATERIAL. SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE WHERE SPECIFIED DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED; CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION NOTES

- UNLESS OTHERWISE NOTED OR INDICATED DIMENSIONS ON THE PLANS SHALL BE FROM CENTERLINE OF THE COLUMN, GRIDLINE, OR FACE OF STRUCTURE/STUD.
- ALL EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A WAY AS TO MAKE THEM WEATHERPROOF.
- FLOOR SURFACES SHALL BE SLIP RESISTANT MEETING THE MINIMUM STATIC COEFFICIENT OF 0.6 FOR FLOORS AND 0.8 FOR RAMPS AS REQUIRED BY ADAAG.
- EXTERIOR PENETRATION AND PENETRATION ENCLOSING CONDITIONED SPACE SHALL BE WEATHERSTRIPPED OR OTHERWISE TIGHTLY SEALED TO MINIMIZE AIR LEAKAGE.
- EXTERIOR DOORS AND DOORS ENCLOSING CONDITIONED SPACE SHALL MINIMIZE AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. SEAL OR ASTRAGAL SHALL BE PROVIDED AT HEAD, SILL, AND JAMBS. MEETING PORTIONS OF SECTIONAL, BI-PARTING, OR DOUBLE DOORS SHALL BE PROVIDED WITH A WEATHER TIGHT ASTRAGAL OR SEAL.
- WHERE MULTIPLE SWITCHES OR RECEPTACLES ARE LOCATED IN NEAR VICINITY, THE CONTRACTOR SHALL GANG SWITCHES OR RECEPTACLES UP TO THE MAXIMUM WIDTH AVAILABLE FOR FACE PLATES.
- ALL SWITCHES AND/OR RECEPTACLES MOUNTED ABOVE COUNTERS SHALL BE INSTALLED SO THAT LENGTH OF FACE PLATE IS ORIENTED HORIZONTALLY.

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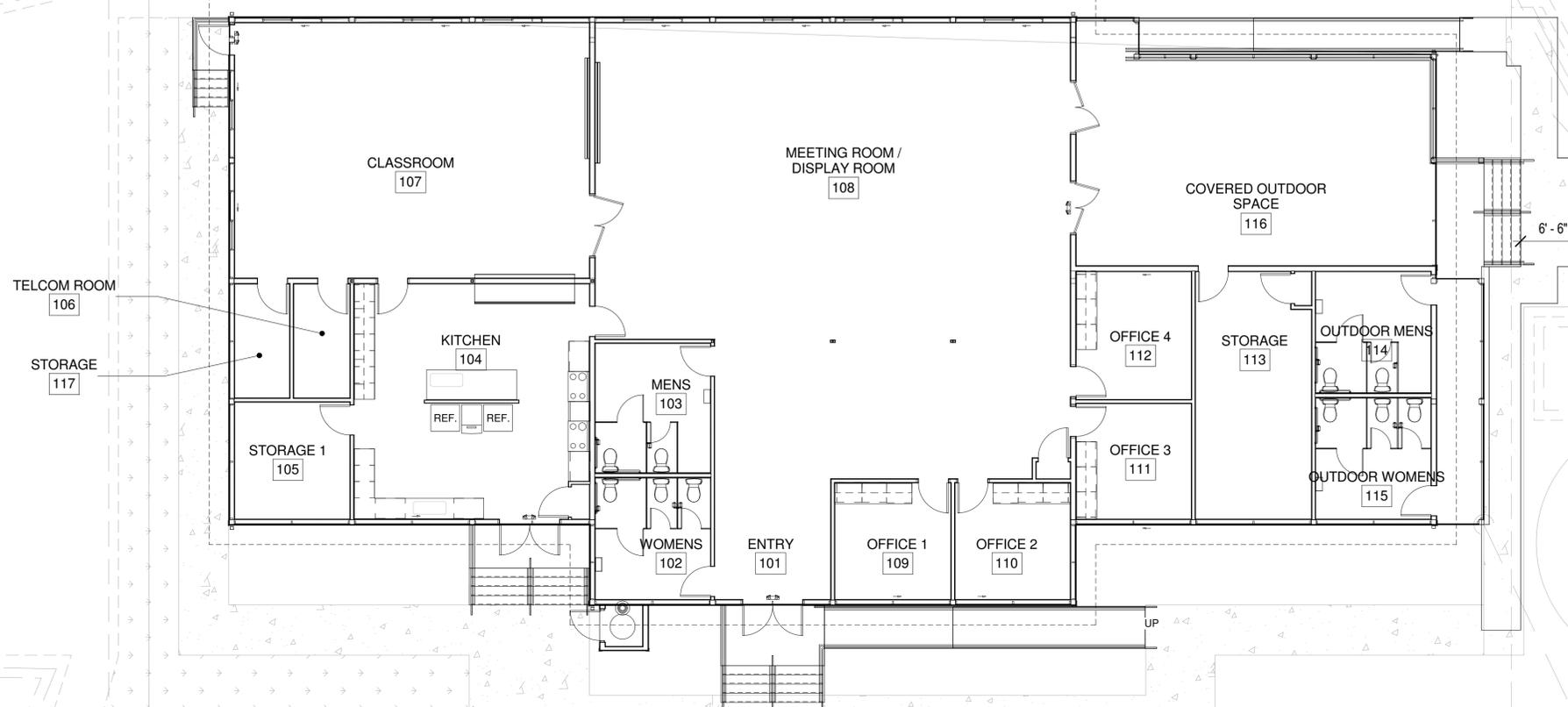
ABBREVIATIONS & NOTES

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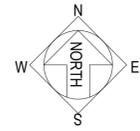
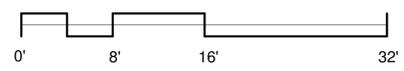
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T-104
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1 SITE PLAN
SCALE: 1/8" = 1'-0"

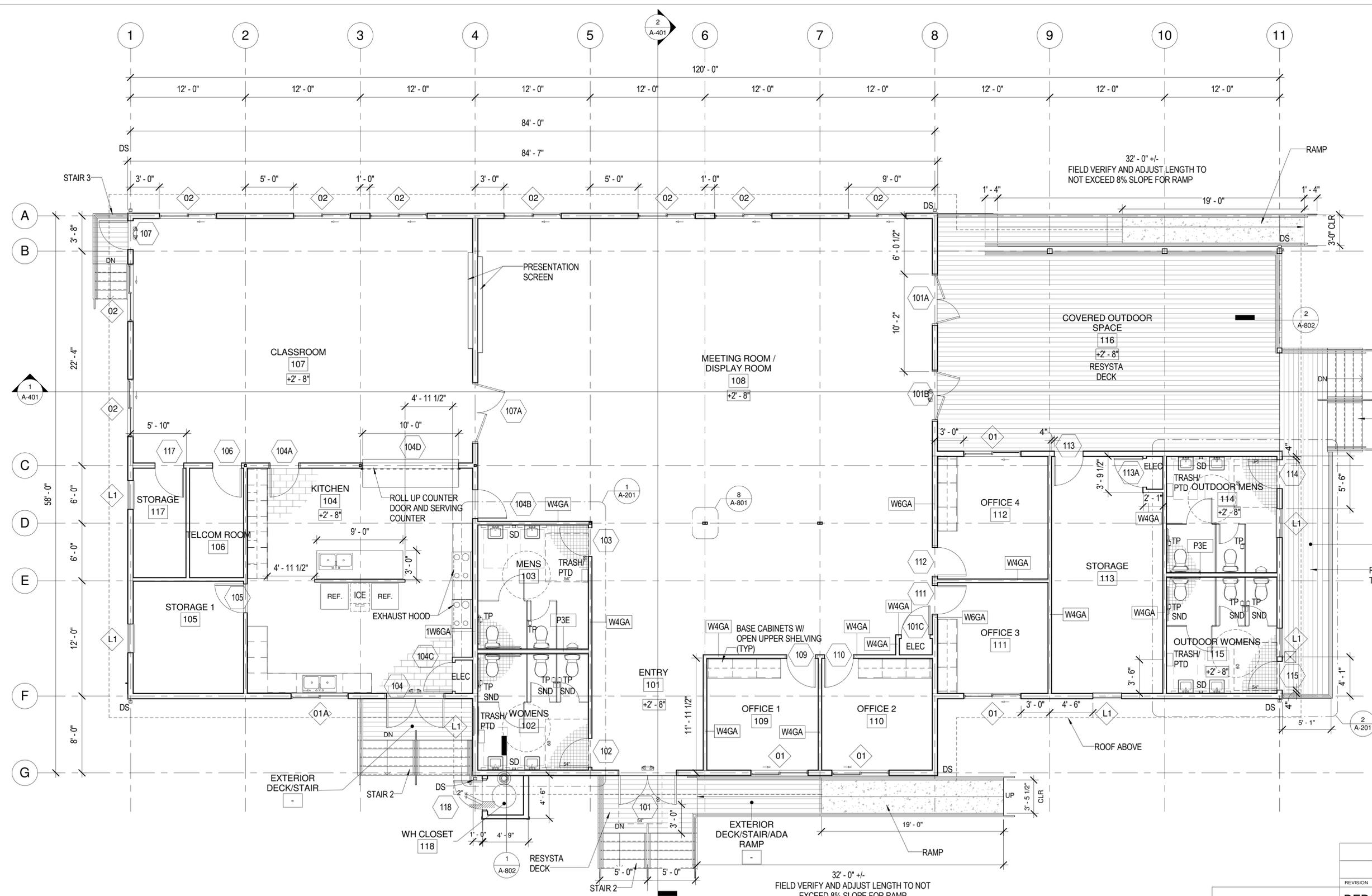


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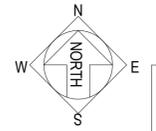
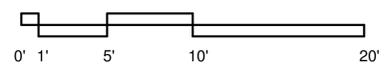
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Name	Area
ENTRY	139 SF
WOMENS	140 SF
MENS	149 SF
KITCHEN	541 SF
CLASSROOM	901 SF
MEETING ROOM / DISPLAY ROOM	1982 SF
OFFICE 4	147 SF
OFFICE 3	133 SF
STORAGE	278 SF
OUTDOOR MENS	139 SF
OUTDOOR WOMENS	139 SF
OFFICE 2	134 SF
OFFICE 1	135 SF
COVERED OUTDOOR SPACE	825 SF
STORAGE 1	134 SF
STORAGE	63 SF
WH CLOSET	13 SF
TELCOM ROOM	64 SF
EXTERIOR DECK/STAIR	223 SF
EXTERIOR DECK/STAIR/ADA RAMP	235 SF
EXTERIOR DECK/STAIR	95 SF
	6608 SF

INTERIOR GBA: 5,588 SF
 COVERED LANAI: 758 SF
 UNCOVERED RAMPS/STAIRS: 730 SF

1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"



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FLOOR PLAN

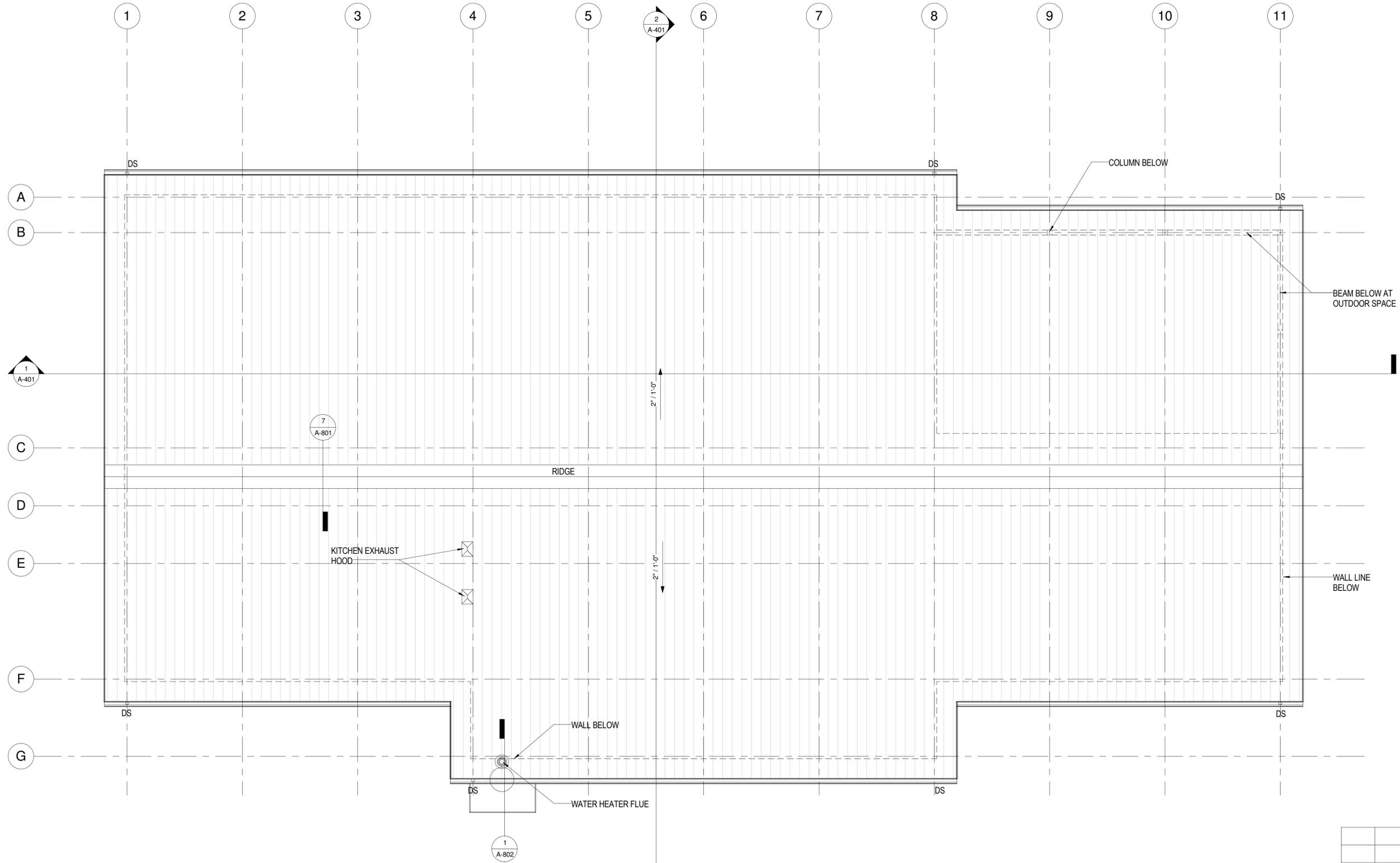
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JUNE 2019

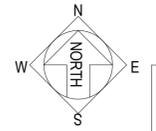
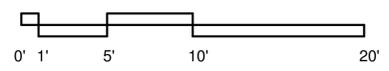
FILE	POCKET	FOLDER	NO.

6/7/2019 2:38:19 PM

6/7/2019 2:38:19 PM



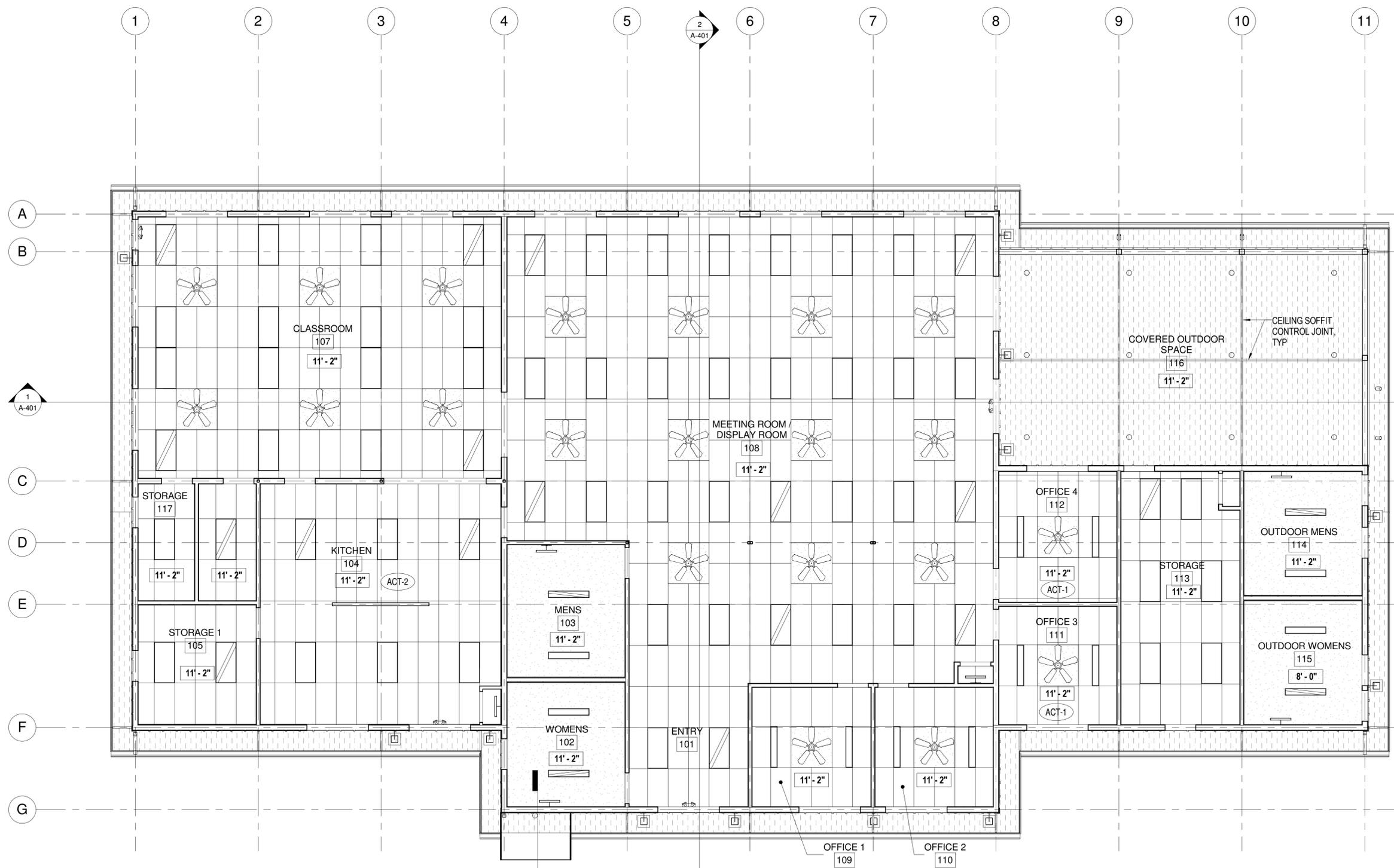
1 ROOF PLAN
SCALE: 3/16" = 1'-0"



DWG. NO. **A-102**
SHEET 7 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
ROOF PLAN				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

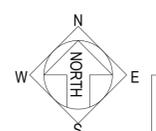
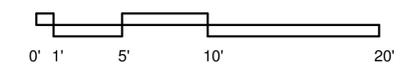
FILE	POCKET	FOLDER	NO.



LEGEND

- ACT-1
24" x 48" SUSPENDED
ACOUSTICAL TILES
- ACT-2 WASHABLE
24" x 48" SUSPENDED
ACOUSTICAL TILES
WHERE NOTED
- PTD GYP BD
1 LAYER
- EXTERIOR SOFFIT BD
- 2 X 4 RECESSED LAY-IN
LIGHT FIXTURE
- 2 X 2 RECESSED LAY-IN
LIGHT FIXTURE
- TRACK LIGHT FIXTURE
- LINEAR PENDANT
FIXTURE
- 1 X 4 RECESSED
FLUORESCENT
- 6" RECESSED
DOWNLIGHT
- 6" RECESSED
WALL WASHER
- 4" DOWNLIGHT
- DECORATIVE
SCONCE
- 2 X 2 DIFFUSER
- LINEAR SLOT
DIFFUSER

1 REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



DWG. NO.
A-103
SHEET 8 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

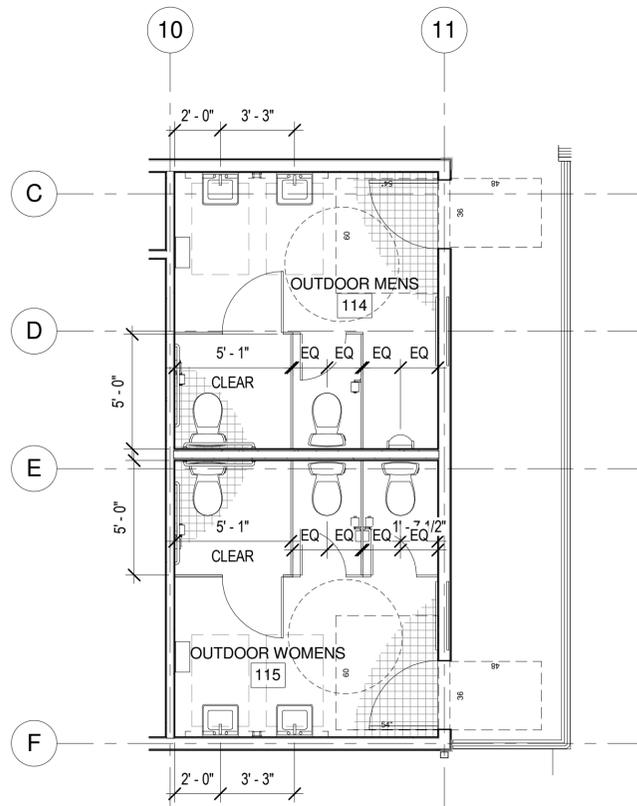
REFLECTED CEILING PLAN

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

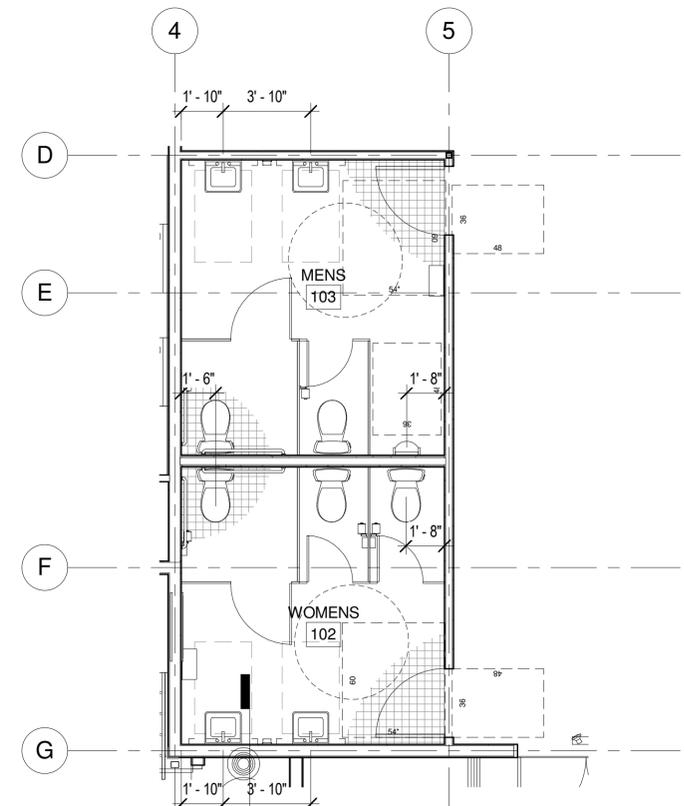
JUNE 2019

FILE	POCKET	FOLDER	NO.

6/7/2019 2:38:21 PM



2 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



1 RESTROOM PLAN
SCALE: 1/4" = 1'-0"
A-802

6/7/2019 2:38:21 PM

DWG. NO.
A-201
SHEET 9 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

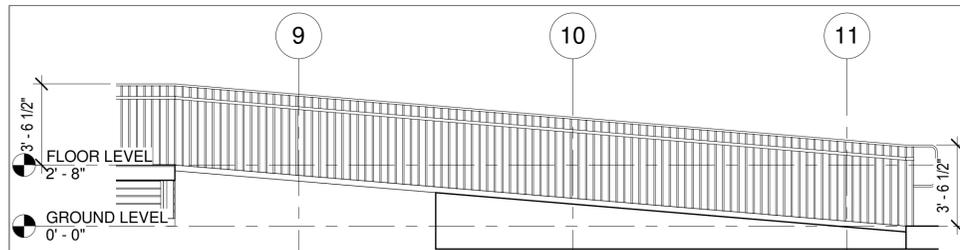
DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

ENLARGED PLANS

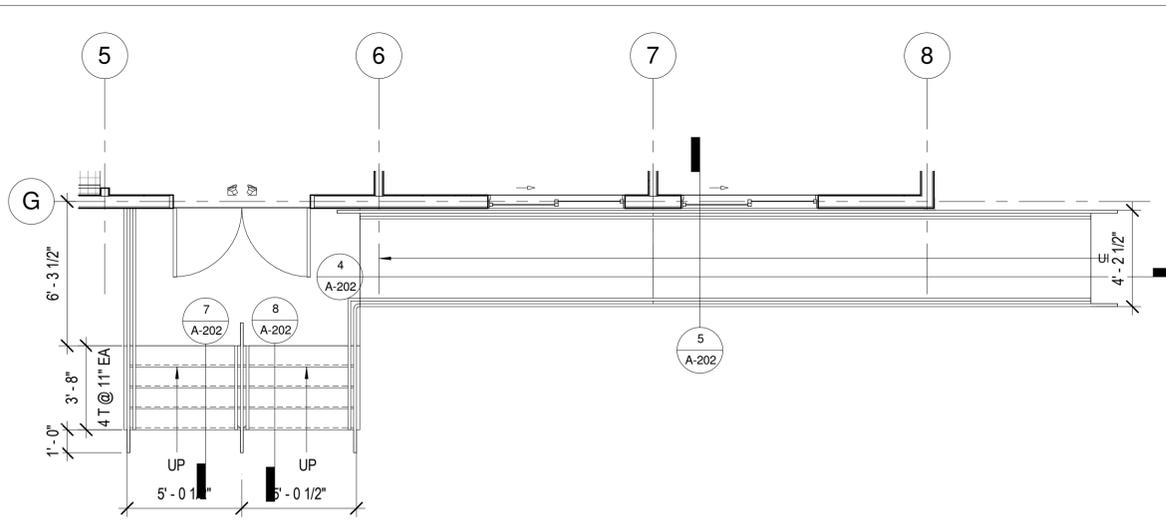
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

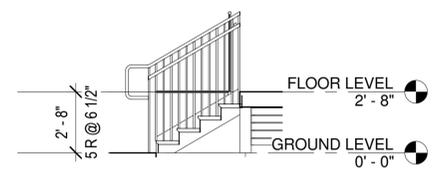
FILE	POCKET	FOLDER	NO.



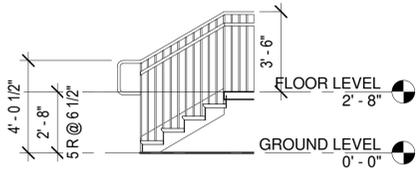
6 NORTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"



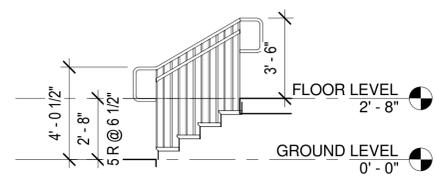
2 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY
SCALE: 1/4" = 1'-0"



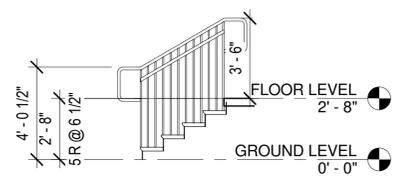
9 STAIR 4 SECTION
SCALE: 1/4" = 1'-0"



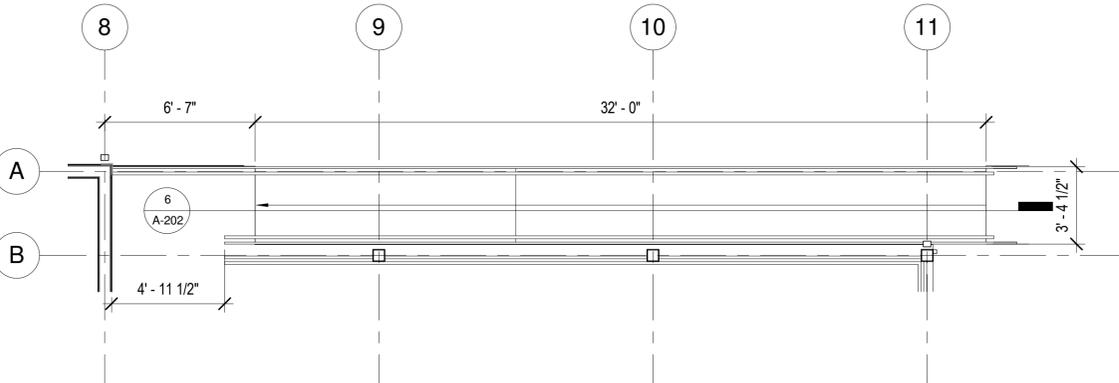
7 STAIR 2 SECTION
SCALE: 1/4" = 1'-0"



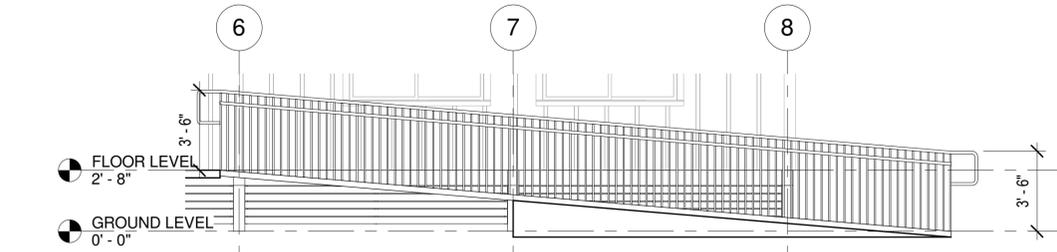
10 STAIR 4 SECTION
SCALE: 1/4" = 1'-0"



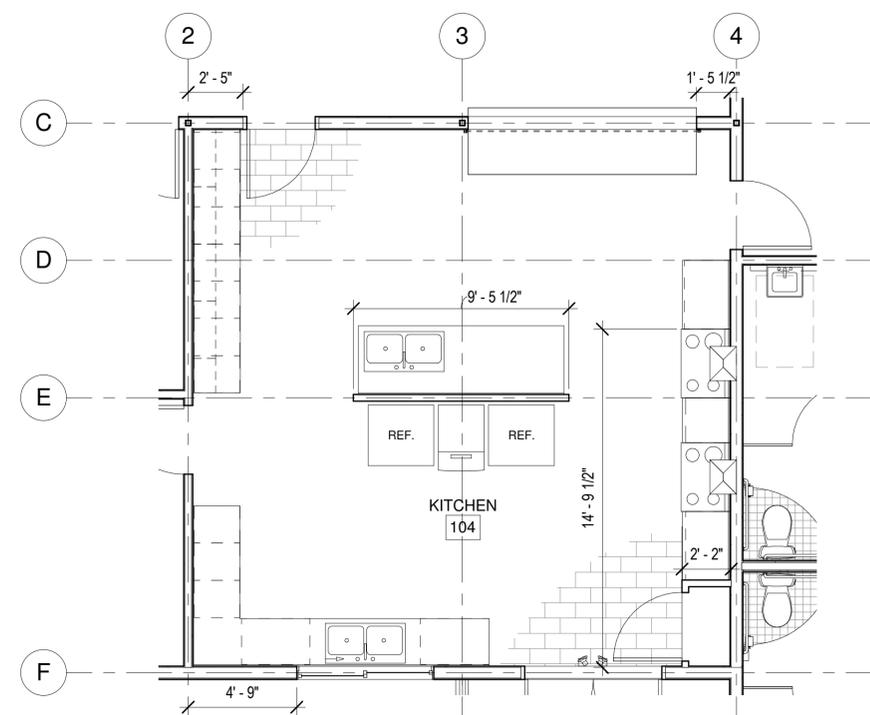
8 STAIR 2 SECTION
SCALE: 1/4" = 1'-0"



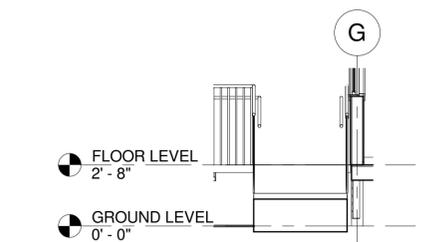
3 ENTRY STAIR 2 & RAMP AT SOUTH ENTRY
SCALE: 1/4" = 1'-0"



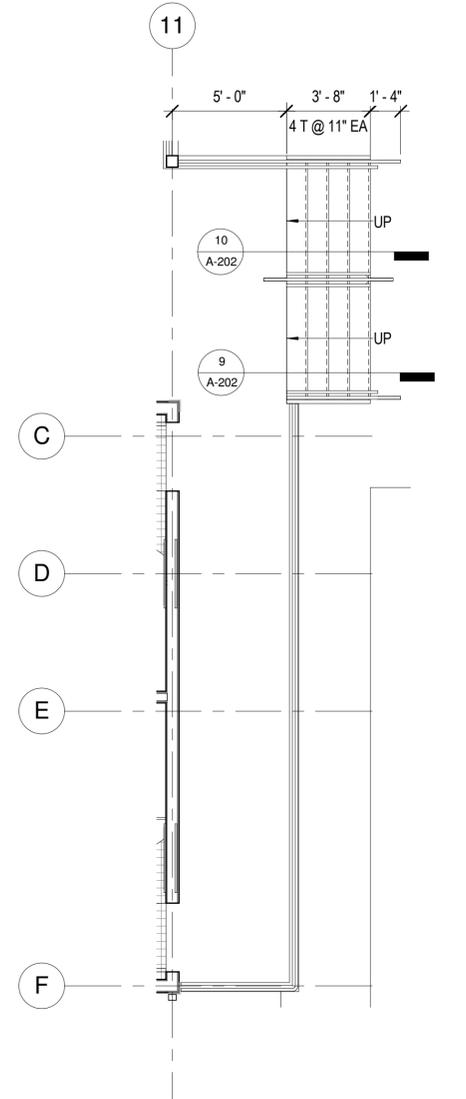
4 SOUTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"



11 KITCHEN PLAN
SCALE: 1/4" = 1'-0"



5 SOUTH ENTRY RAMP SECTION
SCALE: 1/4" = 1'-0"



1 ENTRY STAIR 4 AT EAST ENTRY
SCALE: 1/4" = 1'-0"



DWG. NO. **A-202**
SHEET 10 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

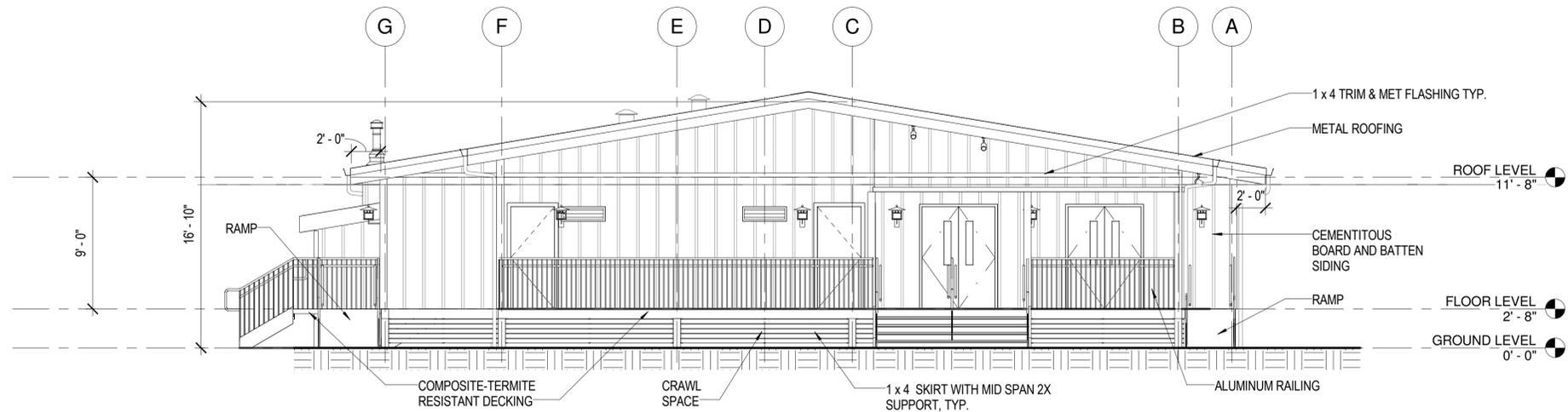
ENLARGED PLANS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

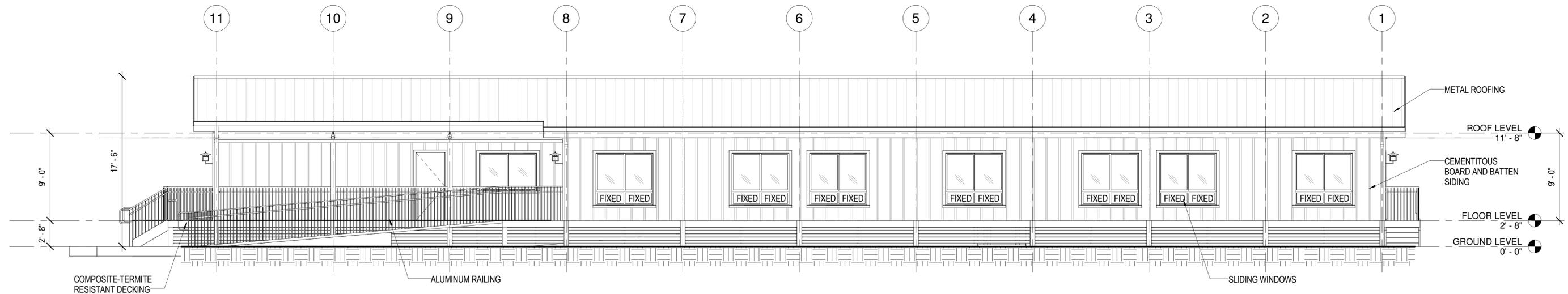
JUNE 2019

FILE	POCKET	FOLDER	NO.
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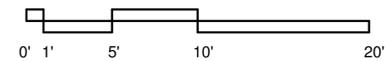


1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

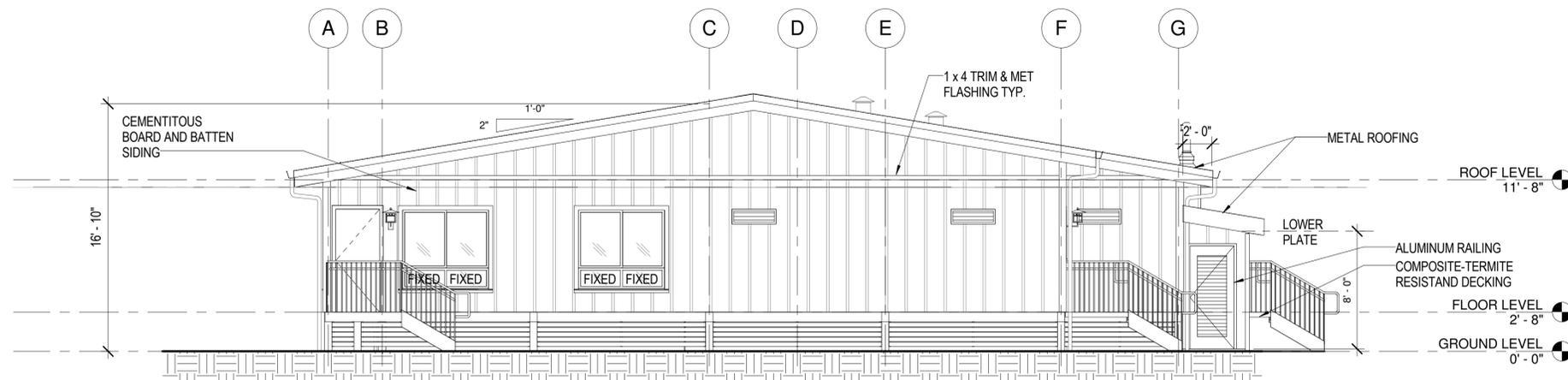
6/7/2019 2:38:24 PM



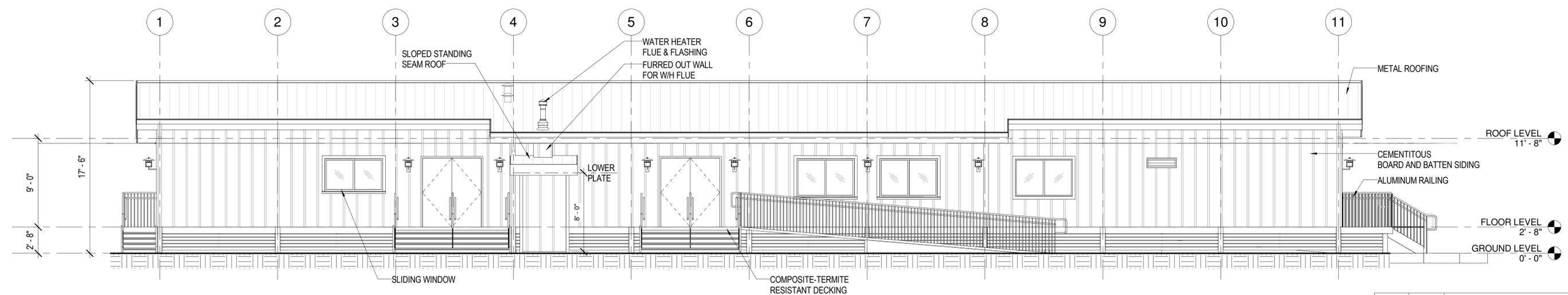
DWG. NO. **A-301**
SHEET 11 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
EXTERIOR ELEVATIONS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

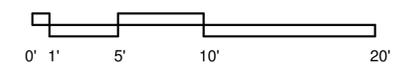
FILE POCKET FOLDER NO.



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



DWG. NO. **A-302**
SHEET 12 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

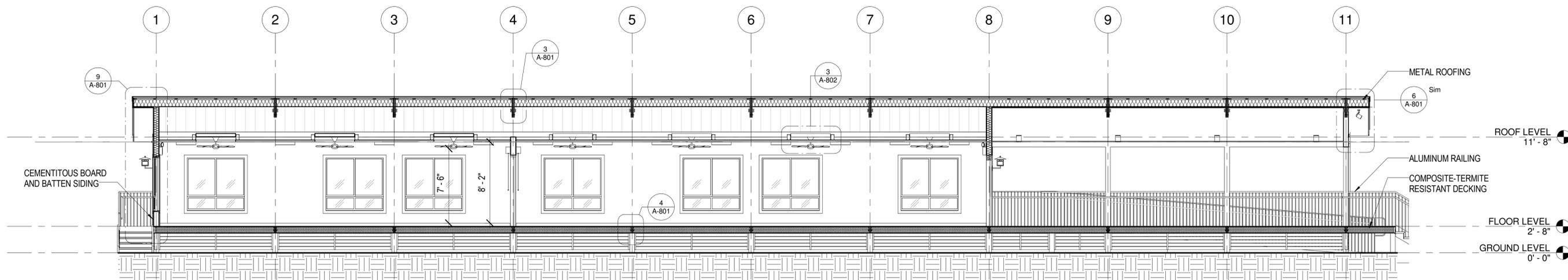
EXTERIOR ELEVATIONS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

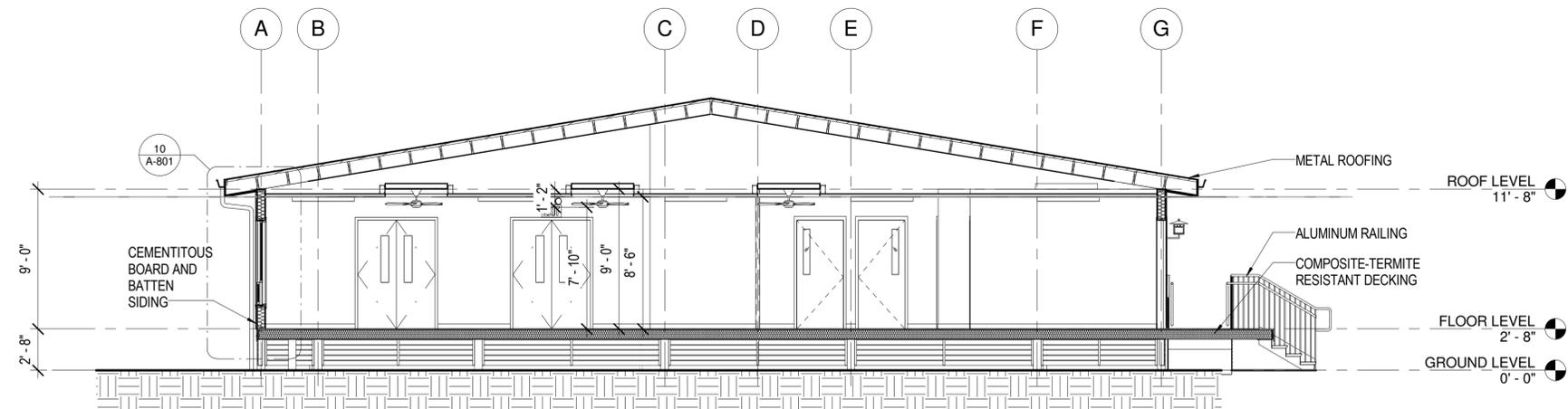
JUNE 2019

FILE	POCKET	FOLDER	NO.

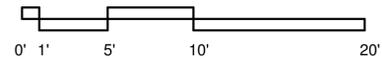
6/7/2019 2:38:26 PM



1 LONGITUDINAL SECTION
SCALE: 3/16" = 1'-0"

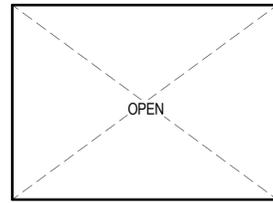


2 CROSS SECTION
SCALE: 3/16" = 1'-0"

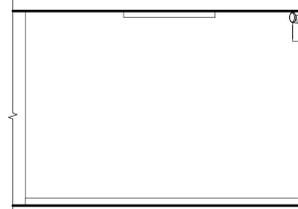


DWG. NO. **A-401**
SHEET 13 OF 57

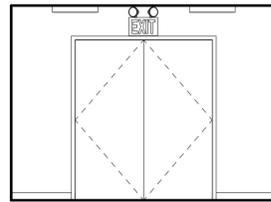
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
BUILDING SECTIONS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				
FILE	POCKET	FOLDER	NO.	



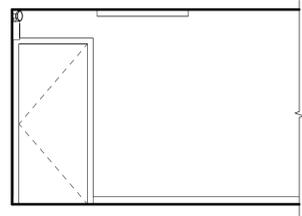
A



B

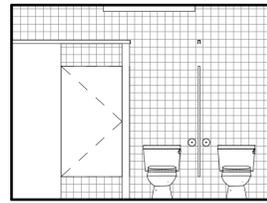


C

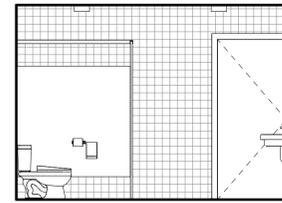


D

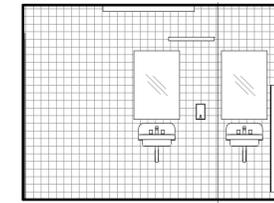
1 ENTRY 101
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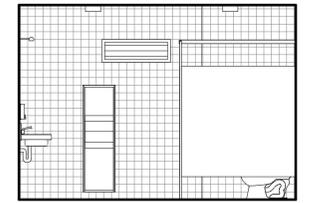
A



B

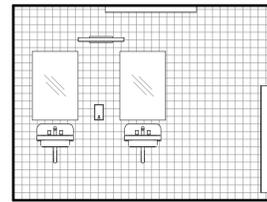


C

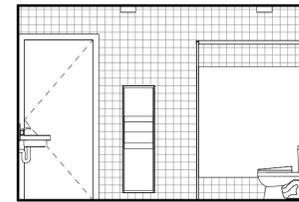


D

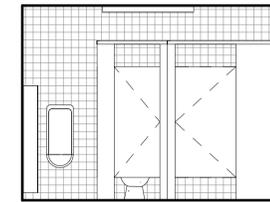
2 WOMENS 102
SCALE: 1/4" = 1'-0"



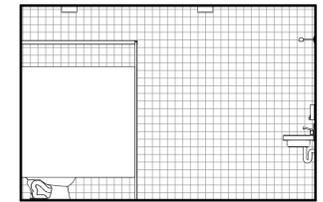
A



B

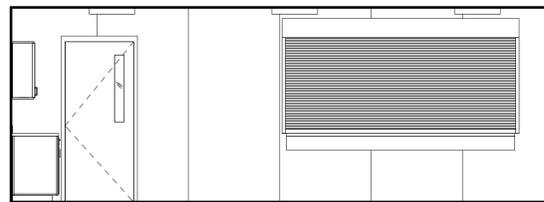


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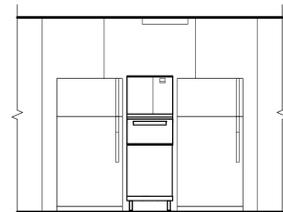


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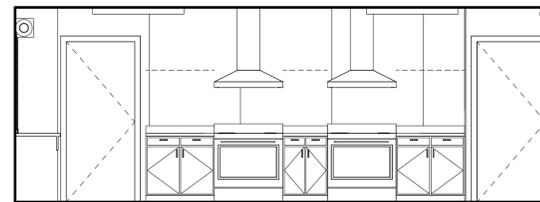
3 MENS 103
SCALE: 1/4" = 1'-0"



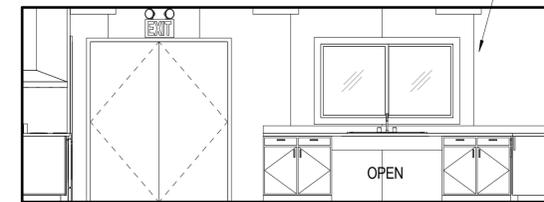
A



A1

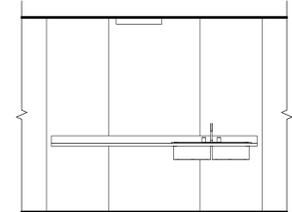


B

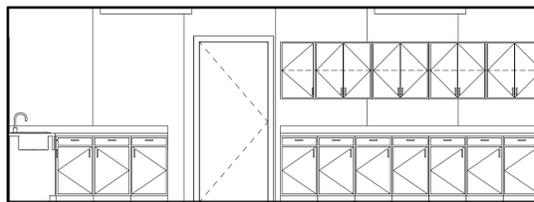


C

FRP PANEL, TYP

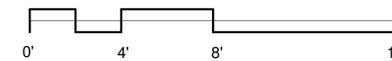


C1



D

4 KITCHEN 104
SCALE: 1/4" = 1'-0"



DWG. NO. **A-501**
SHEET 14 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

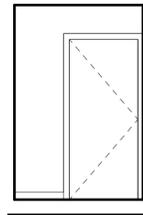
DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

INTERIOR ELEVATIONS

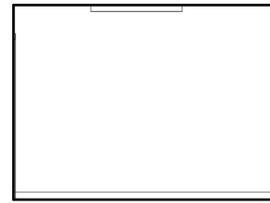
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

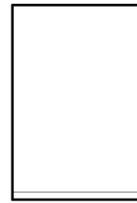
FILE	POCKET	FOLDER	NO.



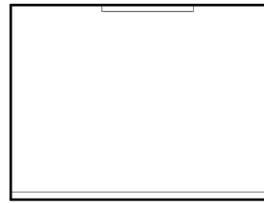
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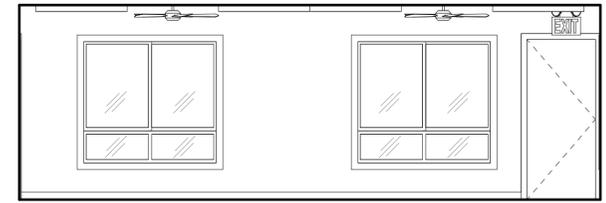
B



C

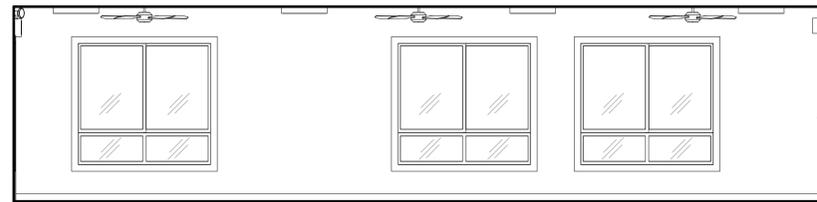


D

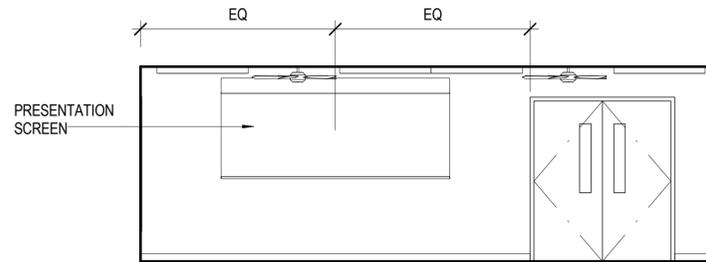


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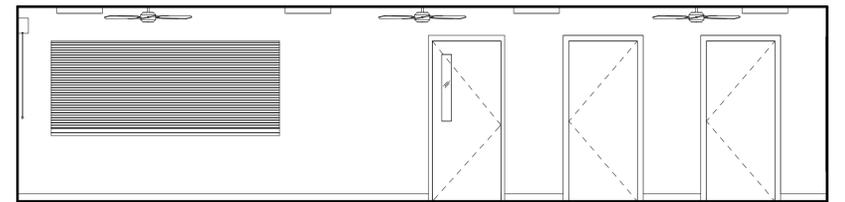
1 TELCOM ROOM 106
SCALE: 1/4" = 1'-0"



A

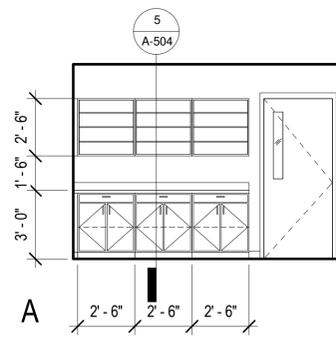


B

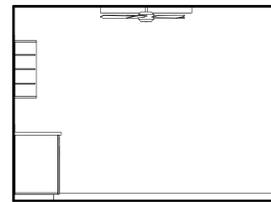


C

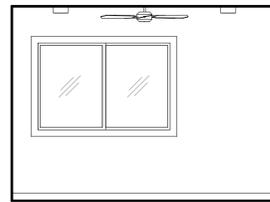
2 CLASSROOM 107
SCALE: 1/4" = 1'-0"



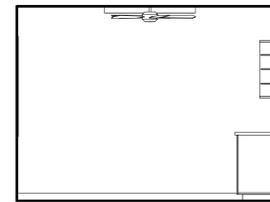
A



B

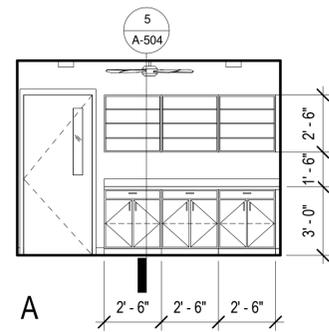


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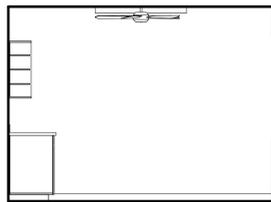


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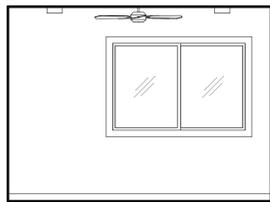
3 OFFICE 1 109
SCALE: 1/4" = 1'-0"



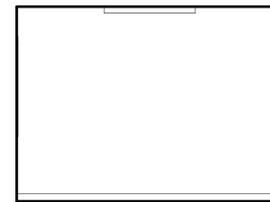
A



B

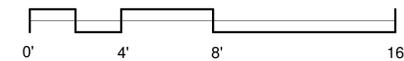


C



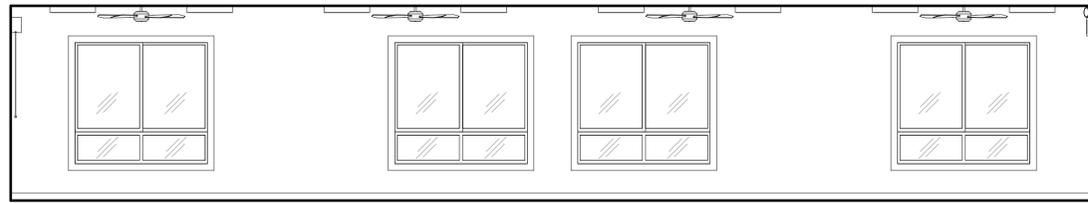
D

4 OFFICE 2 110
SCALE: 1/4" = 1'-0"

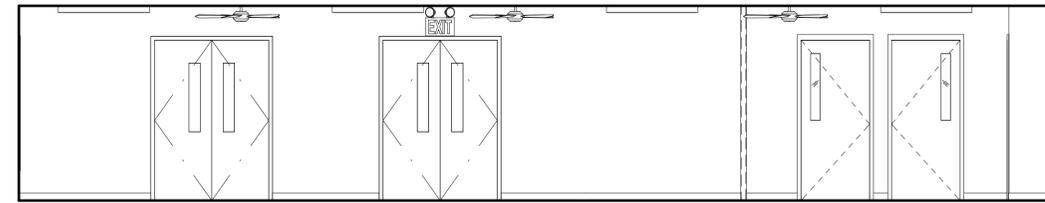


DWG. NO. **A-502**
SHEET 15 OF 57

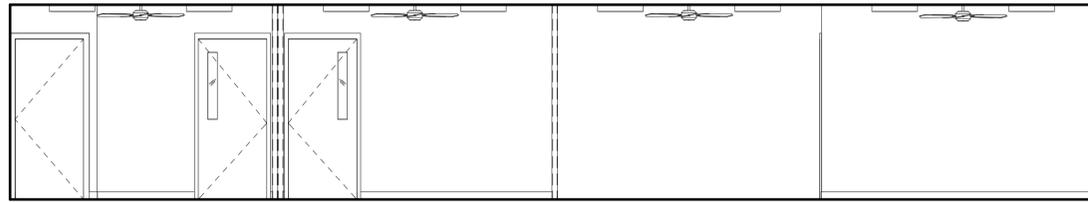
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
INTERIOR ELEVATIONS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				



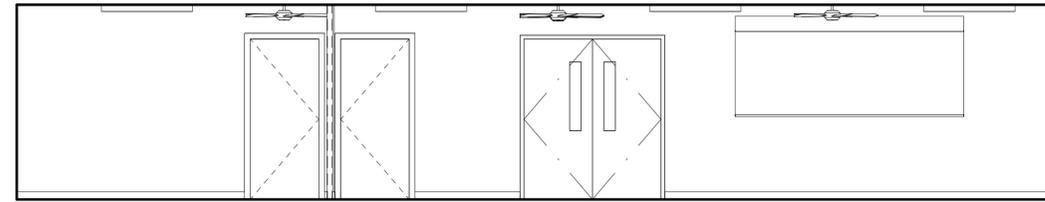
A



B

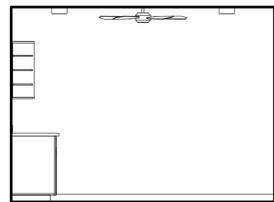


C

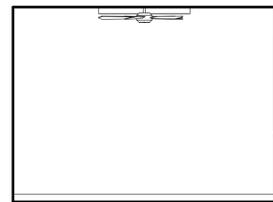


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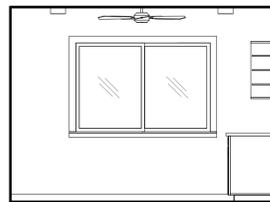
1 MEETING ROOM / DISPLAY ROOM 108
SCALE: 1/4" = 1'-0"



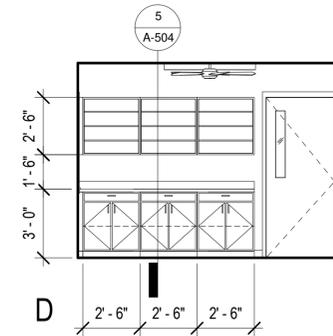
A



B

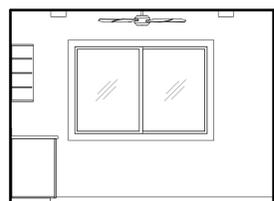


C

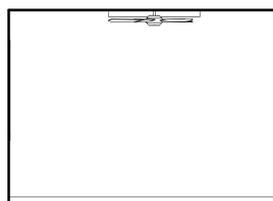


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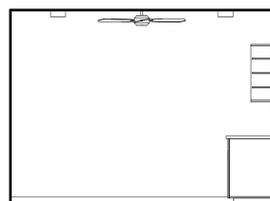
2 OFFICE 3 111
SCALE: 1/4" = 1'-0"



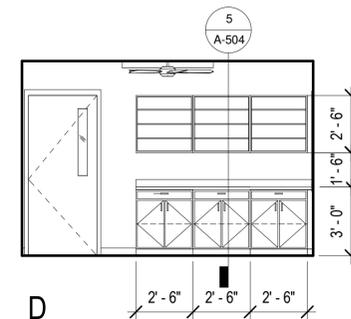
A



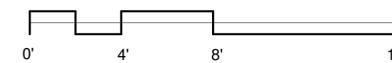
B



C

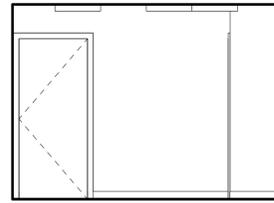


D

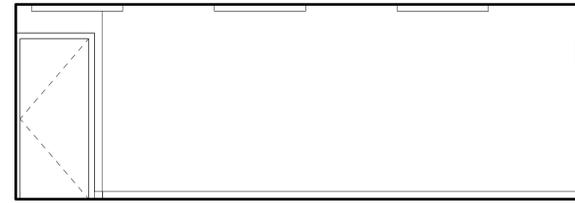


DWG. NO. **A-503**
SHEET 16 OF 57

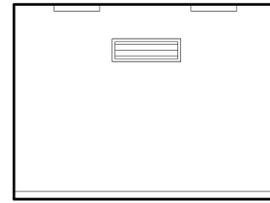
REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
INTERIOR ELEVATIONS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				



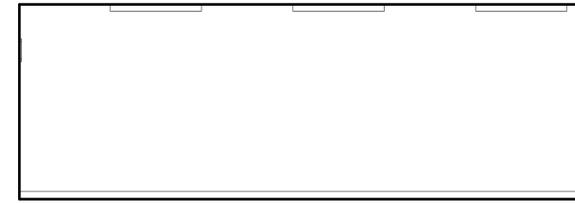
A



B



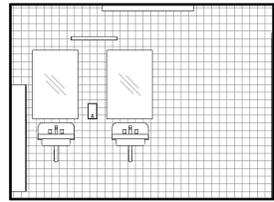
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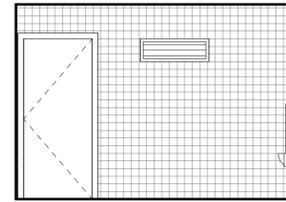
D

1 STORAGE 113

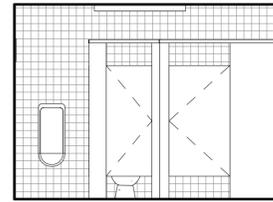
SCALE: 1/4" = 1'-0"



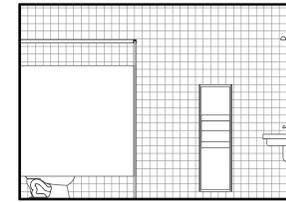
A



B



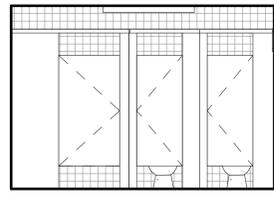
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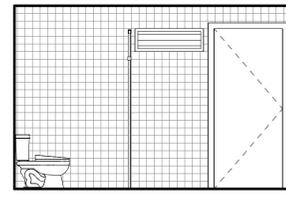
D

2 OUTDOOR MENS 114

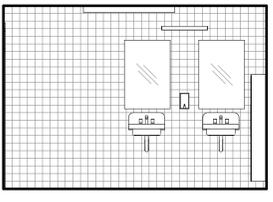
SCALE: 1/4" = 1'-0"



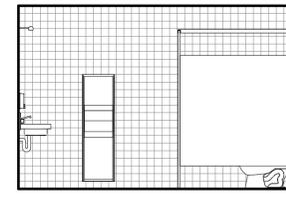
A



B



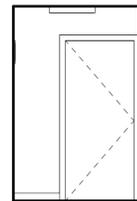
C



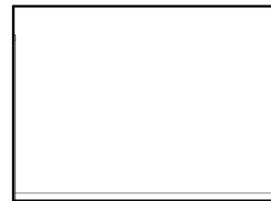
D

3 OUTDOOR WOMENS 115

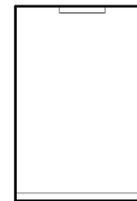
SCALE: 1/4" = 1'-0"



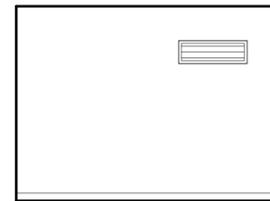
A



B



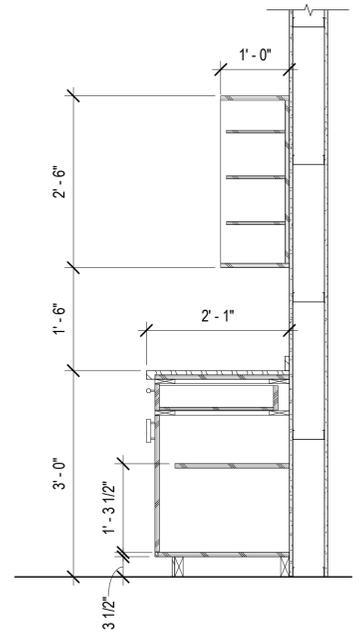
C



D

4 STORAGE 117

SCALE: 1/4" = 1'-0"



5 CABINET DETAIL

SCALE: 3/4" = 1'-0"

REVISION DATE BRIEF MADE BY APPROVED

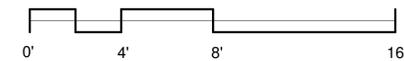
DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

INTERIOR ELEVATIONS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

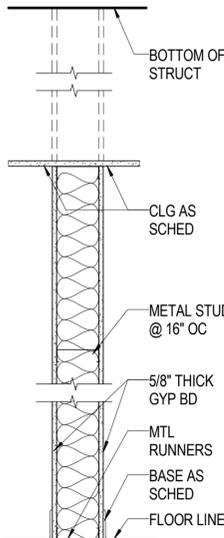


DWG. NO. **A-504**
SHEET 17 OF 57

6/7/2019 2:38:41 PM

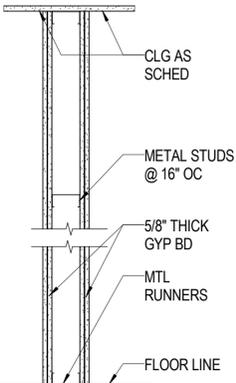
FILE POCKET FOLDER NO.

PARTITION TYPES



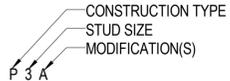
W4GA, W6GA

1W4GA, 1W6GA
1 HOUR RATED
ASSEMBLY UL U305



P3E

LEGEND:



NOTE: BLANK INDICATES NO FIRE RATING

CONSTRUCTION TYPE
 F- FURRING
 P- BASIC PARTITION
 W - BASIC WOOD FRAMED PARTITION

STUD SIZE CODE
 3 - 3 5/8\"/>

NOTE: BLANK INDICATES NO MODIFICATIONS

MODIFIERS
 A - ACOUSTIC INSULATION
 E - 2-LAYERS OF GYP BD, BOTH SIDES
 G - FULL HT GYP BD, BOTH SIDES

GENERAL NOTES:

- ALL GYP BD IS 1/2\"/>
- ALL PARTITIONS TO BE OF NON-COMBUSTIBLE CONSTRUCTION. . .
- FOR ALL FIRE RATED PARTITIONS, THE FOLLOWING NOTES SHOULD APPLY:
 - A. ANY WALL OUTLETS FOR DATA, VOICE, VIDEO, POWER OR OTHER UTILITIES SHOULD BE SEPARATED BY AT LEAST ONE STUD CAVITY HORIZONTALLY TO AVOID BACK-TO-BACK OUTLETS.
 - B. ELEC. PANEL BOARDS, FEC, EYE WASH, ETC SHALL BE WRAPPED WITH FIRE RESISTIVE MATERIAL TO MAINTAIN FIRE RESISTIVE CONSTRUCTION.

6/7/2019 2:38:42 PM

DWG. NO.
A-601
 SHEET 18 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

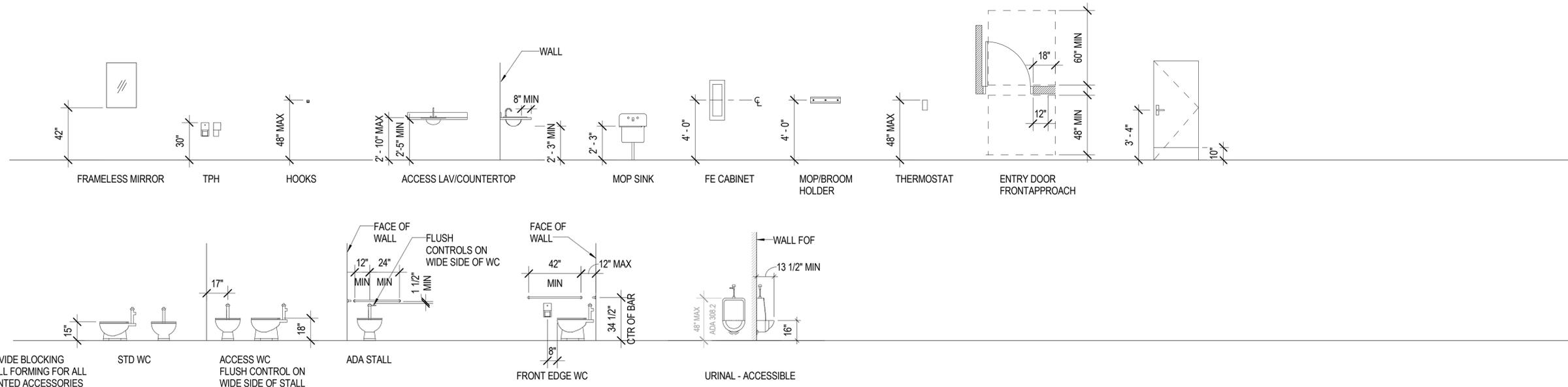
DEPARTMENT OF HAWAIIAN HOME LANDS
 STATE OF HAWAII
 HO'OLEHUA VETERAN AND HOMESTEAD
 RESIDENT'S CENTER
 RFP-19-HHL-007

PARTITION TYPES

OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION

JUNE 2019

FILE	POCKET	FOLDER	NO.

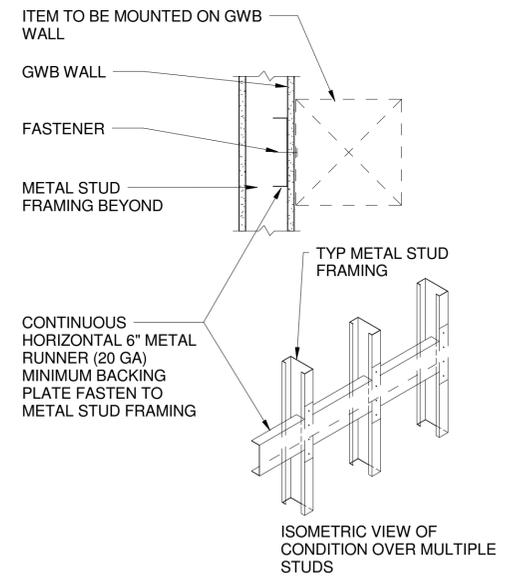


NOTE: PROVIDE BLOCKING WITHIN WALL FORMING FOR ALL WALL MOUNTED ACCESSORIES

1

ADA STANDARDS/FIXTURE MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"



2

BACKING PLATE DETAIL

SCALE: 1 1/2" = 1'-0"

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

FIXTURE MOUNTING HEIGHTS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

DWG. NO.
A-602
SHEET 19 OF 57

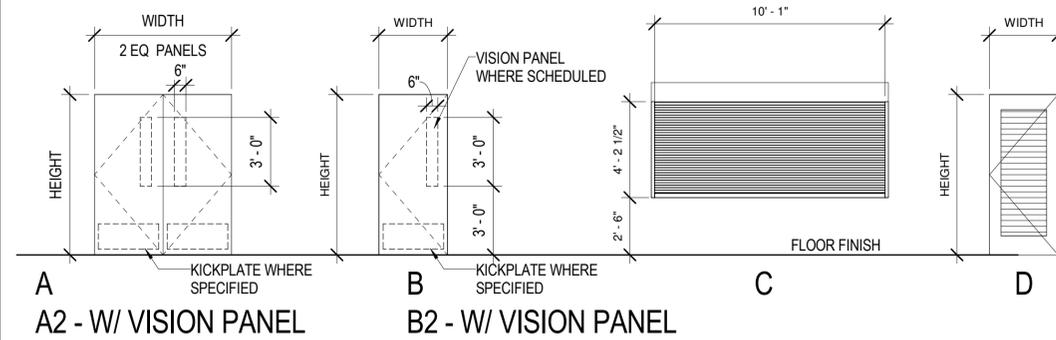
FILE	POCKET	FOLDER	NO.

6/7/2019 2:38:42 PM

DOOR SCHEDULE

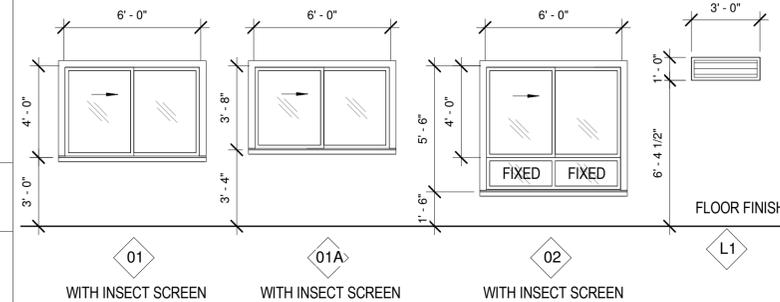
DOOR SCHEDULE												
MARK	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	CONSTRUCTION	FINISH	HARDWARE GROUPS	FRAME MATERIAL	DET #/A-701			NOTE
									HEAD	JAMB	THRESHOLD	
101	6'-0"	7'-0"	0'-1 3/4"	A	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101A	5'-0"	7'-0"	0'-1 3/4"	A2	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101B	5'-0"	7'-0"	0'-1 3/4"	A2	FRP	FF	001	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
101C	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	
102	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	003	MP	3	3	2	
103	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	003	MP	3	3	2	
104	6'-0"	7'-0"	0'-1 3/4"	A	FRP	FF	004	MP	3	3	1	
104A	3'-0"	7'-0"	0'-1 3/4"	B2	WP	WP	011	MP	3	3	2	
104B	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	011	MP	3	3	2	
104C	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
104D	10'-0"	4'-0"		C	MP	MP	MANU	MANU	3	3	-	
105	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
106	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	
107	3'-0"	7'-0"	0'-1 3/4"	B	FRP	FF	002	FRP	3	3	1	PANIC HARDWARE & VISION PANEL
107A	6'-0"	7'-0"	0'-1 3/4"	A2	WP	WP	008	MP	3	3	4	
109	3'-0"	7'-0"	0'-1 3/4"	B2	WP	WP	006	MP	3	3	2	
110	3'-0"	7'-0"	0'-1 3/4"	B2	WP	WP	006	MP	3	3	2	
111	3'-0"	7'-0"	0'-1 3/4"	B2	WP	WP	006	MP	3	3	2	
112	3'-0"	7'-0"	0'-1 3/4"	B2	WP	WP	006	MP	3	3	2	
113	3'-0"	7'-0"	0'-1 3/4"	B	FRP	FF	009	MP	3	3	1	
113A	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
114	3'-0"	7'-0"	0'-1 3/4"	B	FRP	FF	003	FRP	3	3	1	
115	3'-0"	7'-0"	0'-1 3/4"	B	FRP	FF	003	FRP	3	3	1	
117	3'-0"	7'-0"	0'-1 3/4"	B	WP	WP	007	MP	3	3	4	DOOR LOUVER
118	3'-0"	7'-0"	0'-1 3/4"	D	FRP	FF	010	MP	3	3	1	FULL LOUVER

DOOR TYPES



WINDOW TYPES

FOR WINDOW/LOUVER (SIM.) DETAILS SEE 4&5/A-802



DOOR REFERENCE NOTES

DOOR SCHEDULE HEADINGS WITH "()" NUMBER IN PARENTHESIS CORRESPOND TO REFERENCE NOTES BELOW.

1. DOOR TYPES

- OD - OVERHEAD COILING DOOR
- F - FLUSH
- FL - FLUSH W/ LOUVER
- FV - FLUSH W/ VISION

2. DOOR CONSTRUCTION & FINISH:

- FF - FACTORY FINISH
- FRP - FIBERGLASS ON METAL-INSULATED CORE
- HM - HOLLOW METAL, METAL PAINTED
- WP - WOOD, PAINTED

3. FRAME CONSTRUCTION & FINISH:

SEE INTERIOR DRAWINGS FOR FINISH DESIGNATIONS.

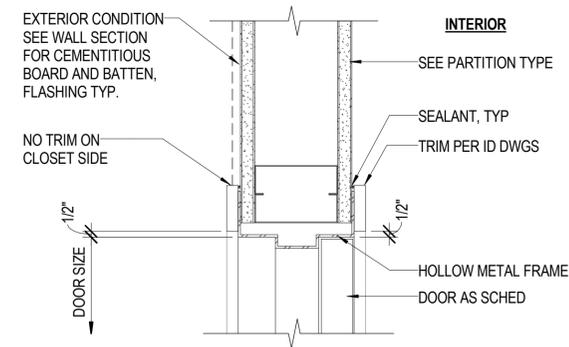
MP - METAL PAINTED

4. GLASS TYPES/LOUVER TYPES:

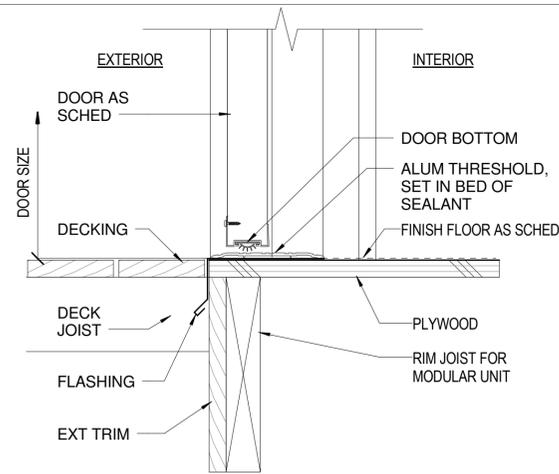
GLASS TYPES:
ALL GLASS SHALL BE AS SCHEDULED

TG - TEMPERED GLASS

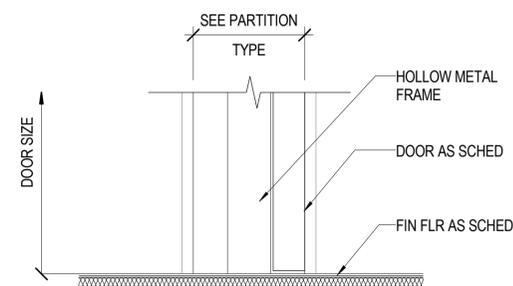
DOOR DETAILS



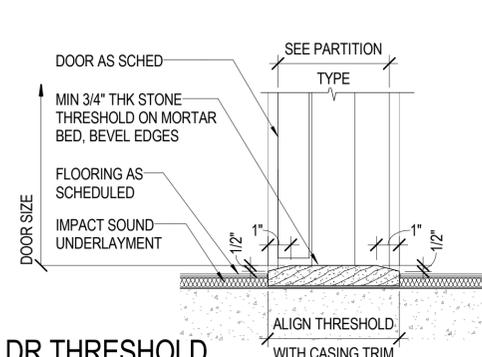
3 INT JAMB (HEAD SIM)
SCALE: 3" = 1'-0"



1 EXT DR THRESHOLD
SCALE: 3" = 1'-0"



4 INT DR THRESHOLD
SCALE: 3" = 1'-0"



2 INT DR THRESHOLD
SCALE: 3" = 1'-0"

6/7/2019 2:38:43 PM

DWG. NO.
A-701
SHEET 20 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

DOOR SCHEDULE AND DETAILS, WINDOW
SCHEDULE AND DETAILS, FINISH
SCHEDULE AND LEGEND

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

FILE	POCKET	FOLDER	NO.

COLOR AND MATERIAL FINISH SCHEDULE

MARK	MATERIAL DESCRIPTION	MATERIAL MANUFACTURER	MATERIAL NAME	MATERIAL SIZE	MATERIAL NO/COLOR	MATERIAL FINISH	MATERIAL LOCATION USED/REMARKS
EXTERIOR FINISHES							
EXPT-1	EXTERIOR PAINT-WALLS	BENJAMIN MOORE	PAINT		BEIGE SUPREME	EGG SHELL	WALLS
EXPT-2	EXTERIOR PAINT-TRIM	BENJAMIN MOORE	PAINT		GOLDEN YELLOW	EGG SHELL	
EXPT-3	EXTERIOR PAINT-WINDOW/DOOR TRIM	BENJAMIN MOORE	PAINT		OCHER	EGG SHELL	
EXPT-4	EXTERIOR PAINT-DOORS/FRAMES	BENJAMIN MOORE	PAINT		MEDIUM BROWN	SEMI-GLOSS	
EXPT-5	WINDOW/LOUVERS FRAMES	WINDOW MANUF.	VARIES		OFF WHITE	SEMI-GLOSS	
EXPT-6	EXTERIOR SOFFITS/CEILING	BENJAMIN MOORE	PAINT		OFF WHITE	EGG SHELL	
EXPT-7	METAL ROOF, GUTTER, VENT & FLASHING	KLOCKNERS METALS	PAINT		PATINA GREEN 872GS		ROOF COLOR
EXPT-8	RAILINGS	KYNAR	KYNAR		SIENNA BROWN		
FLOORING							
CPT	CARPET TILE	SHAW	PATCRAFT	24" X 24"	BIG SPLASH MODULAR	202	OFFICE
CT-1	CERAMIC TILE-FLOORS	DAL TILE	KEYSTONES	1"X1" MESH			COVE BASE
DCK	DECKING SYSTEM	RESYSTA	DECKING PLATINUM		SIAM		DECKS AND RAMPS
DPT	CONCRETE DECK PAINT	INSL-X	SURE STEP		LIGHT GREY SU-0310		ADA RAMPS-CONCRETE
GT-1	BATHROOM FLOOR TILE GROUT	MAIPEI COMMERCIAL	MEDIUM GRAY				PROVIDE SEALER
GT-2	QUARRY TILE GROUT	MAIPEI COMMERCIAL	DARK GRAY				PROVIDE SEALER
QT	QUARRY TILE	DAL TILE	KITCHEN QUARRY TILE & COVE BASE		0Q42 ARID GRAY		PROVIDE SEALER
SVF	SHEET VINYL	ARMSTRONG FLOORING	DECORART REJUVINATIONS TIMBERLINE	6" WIDE	BAMBOO MINK	37367	CLASSROOM & MEETING
VCT	VINYL COMPOSITE TILE	ARMSTRONG FLOORING	STANDARD EXCELON IMPERIAL TEXTURE	12" X 12"	PEWTER 51908		STORAGE
MISCELLANEOUS FINISHES							
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	CALLA 2821	24" X 48"	WHITE	WHITE	AS SCHEDULED
ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	KITCHEN ZONE 672	24" X 48"	WHITE	WHITE	KITCHEN
PLAM-1	PLASTIC LAMINATE	WILSONART	WOOD VENEER 1	N/A		N/A	KITCHEN CABINETS
PLAM-2	PLASTIC LAMINATE	WILSONART	WOOD VENEER 2	N/A		N/A	OFFICE CABINETS
RB	ROLLER BLINDS	MECHO SHADE	SOHO		CANAL 1102 CORNSILK		OFFICE AND CLASSROOM WINDOWS
SS-1	SOLID SURFACE	CORIAN	-	N/A	ANTARTICA		KITCHEN COUNTERTOPS
SS-2	SOLID SURFACE	CORIAN	-	N/A	FOSSIL		RESTROOM COUNTERTOPS
STS	STAINLESS STEEL	VARIES	-				KITCHEN SINK COUNTER
WALLS							
CT-2	CERAMIC TILE-WALLS	DAL TILE	KEYSTONES	4" X 4"			ACCENT STRIP
FRP	FIBERGLASS REINFORCED PLASTIC	MARLITE	INDURO	PANEL	4143 NEUTRAL GLACE		KITCHEN WALLS
GT-3	BATHROOM WALLS	MAIPEI COMMERCIAL	GRAY				PROVIDE SEALER
PT-1	PAINT-WALLS	BENJAMIN MOORE	PAINT	-		EGG SHELL	WALLS
PT-2	PAINT-ACCENT WALL	BENJAMIN MOORE	PAINT	-		EGG SHELL	ACCENT WALL
PT-3	PAINT-CEILING	BENJAMIN MOORE	PAINT	-		EGG SHELL	CEILING
PT-4	PAINT-CEILING BATHROOMS	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	CEILING-BATHROOMS
PT-5	PAINT-DOORS/FRAMES	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	DOORS/FRAMES
PT-6	PAINT-TRIM	BENJAMIN MOORE	PAINT	-		SEMI-GLOSS	TRIM
RB-1	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			PUBLIC ROOMS-VINYL
RB-2	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			OFFICES-CARPET
RB-3	RUBBER BASE	JOHNSONITE	RUBBER BASE	4"			BOH-VCT

NOTE: ALL MANUFACTURERS LISTED ARE ALLOWED TO BE SUBSTITUTED WITH EQUAL MATERIAL OR BETTER

SIGN SCHEDULE

ROOM NO.	ROOM NAME/DESCRIPTION	SIGN TYPE
101	ENTRY	1, 4, 5
102	WOMENS	2
103	MENS	2
104	KITCHEN	3
105	STORAGE 1	3
106	TELCOM ROOM	3
107	CLASSROOM	1
108	MEETING ROOM / DISPLAY ROOM	1
109	OFFICE 1	1
110	OFFICE 2	1
111	OFFICE 3	1
112	OFFICE 4	1
113	STORAGE	3
114	OUTDOOR MENS	2
115	OUTDOOR WOMENS	2
116	COVERED OUTDOOR SPACE	1
117	STORAGE	3
118	WH CLOSET	3
-	EXTERIOR DECK/STAIR/ADA RAMP	4

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME/DESCRIPTION	FLOOR	BASE	WALL	CEILING	CASEWORK	WINDOW
101	ENTRY	SVF	RB-1	PT-1	ACT-1	-	-
102	WOMENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
103	MENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
104	KITCHEN	QT/GT-2	QT/GT-2	FRP	ACT-2	SS-1/PLAM-1/STS	-
105	STORAGE 1	VCT	RB-3	PT-1	ACT-1	-	-
106	TELCOM ROOM	VCT	RB-3	PT-1	ACT-1	-	-
107	CLASSROOM	SVF	RB-1	PT-1/PT-2	ACT-1/PT-3	-	RB
108	MEETING ROOM / DISPLAY ROOM	SVF	RB-1	PT-1/PT-2	ACT-1/PT-3	-	-
109	OFFICE 1	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
110	OFFICE 2	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
111	OFFICE 3	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
112	OFFICE 4	CPT	RB-2	PT-1	ACT-1	PLAM-2	RB
113	STORAGE	VCT	RB-3	PT-1	ACT-1	-	-
114	OUTDOOR MENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
115	OUTDOOR WOMENS	CT-1/GT-1	CT-1/GT-1	CT-2/GT-3	PT-4	SS-2	-
116	COVERED OUTDOOR SPACE	DCK	EXPT-2	EXPT-1,2&8	EXPT-6	-	-
117	STORAGE	VCT	RB-3	PT-1	ACT-1	-	-
118	WH CLOSET	DPT	-	PT-1	EXPT-6	-	-
-	EXTERIOR DECK/STAIR/ADA RAMP	DCK/DPT	-	EXPT-8	-	-	-

NOTE: SCHEDULED FINISHES EXTEND INTO CLOSETS WITHIN ROOMS

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

COLOR, MATERIAL AND ROOM FINISH
SCHEDULE

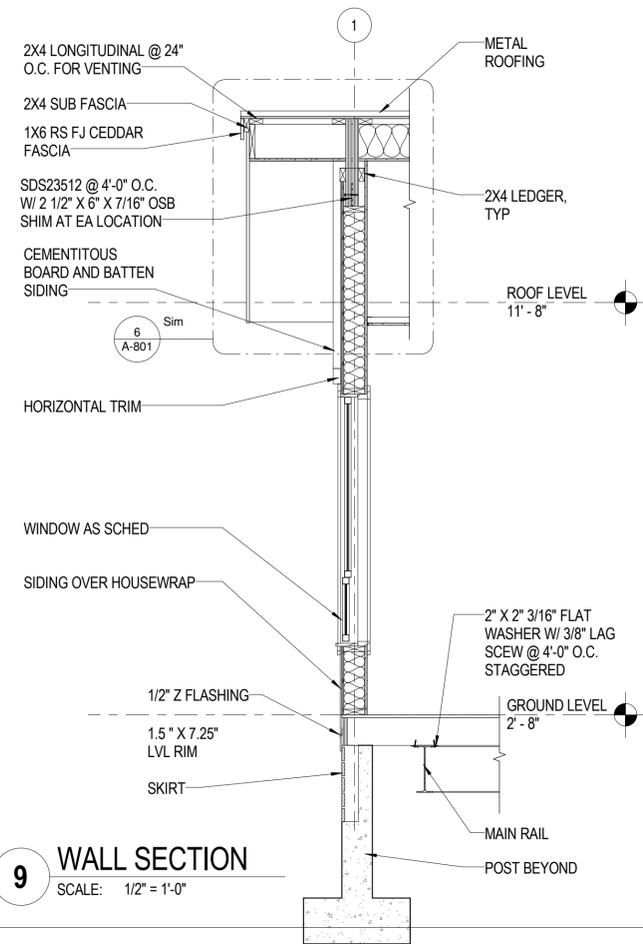
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

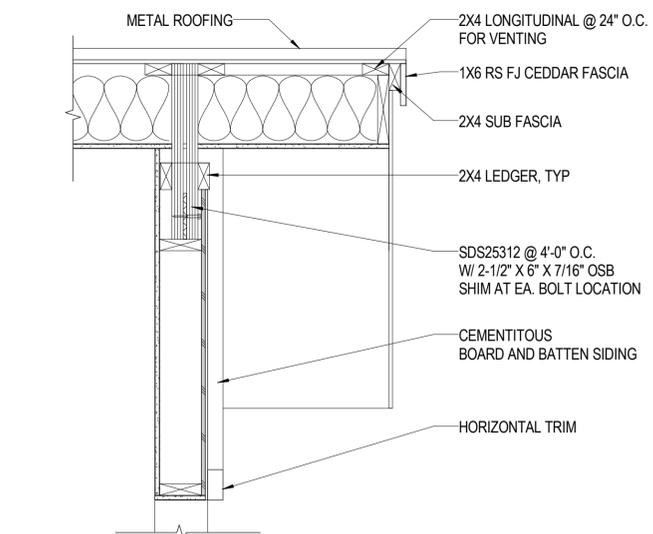
DWG. NO.
A-702
SHEET 21 OF 57

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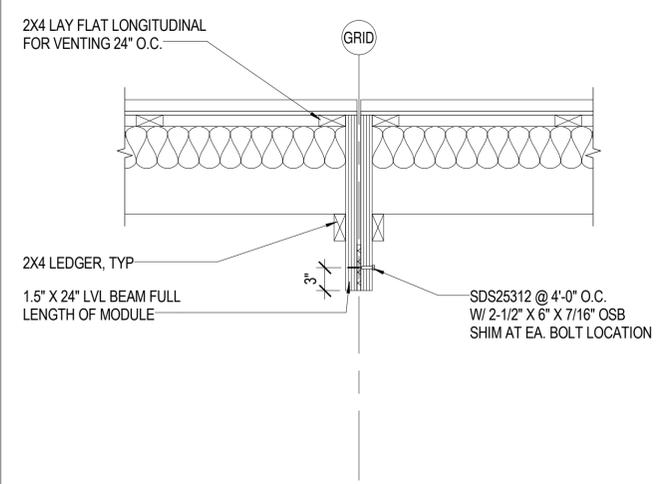
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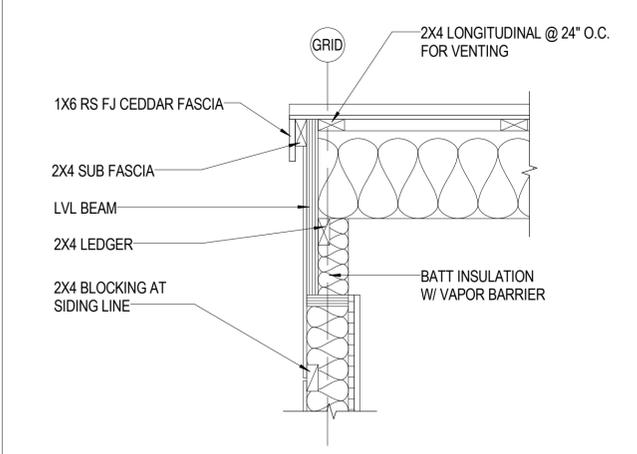
9 WALL SECTION
SCALE: 1/2" = 1'-0"



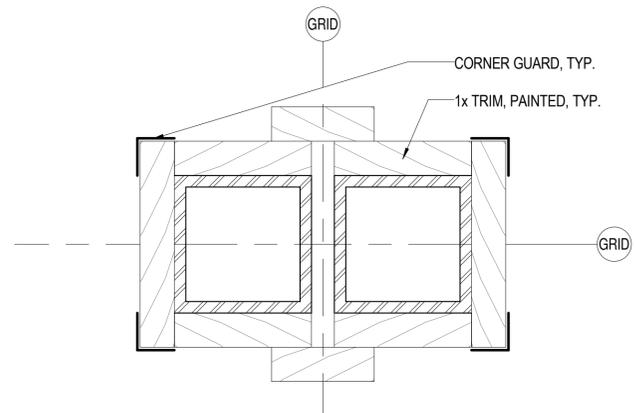
6 ROOF TO SIDE WALL
SCALE: 1" = 1'-0"



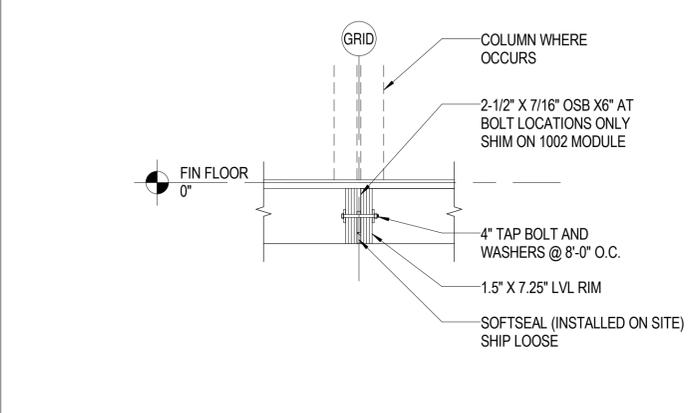
3 RIDGE DETAIL
SCALE: 1" = 1'-0"



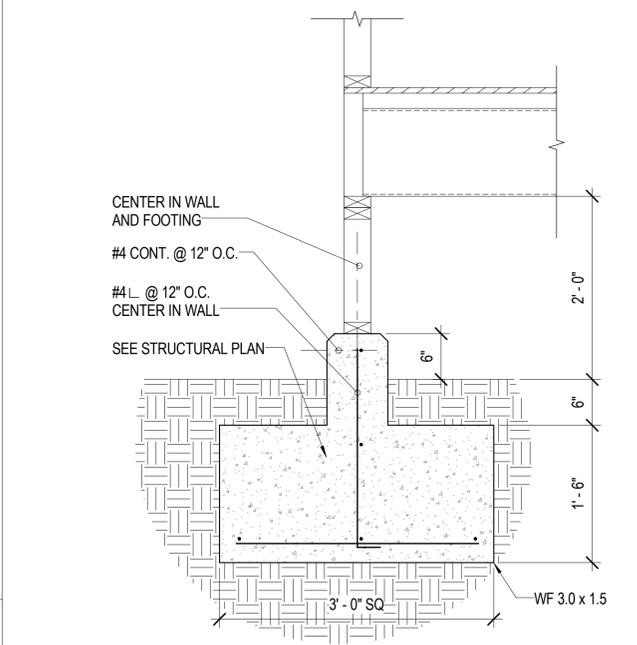
1 ROOF TO SIDE WALL
SCALE: 1" = 1'-0"



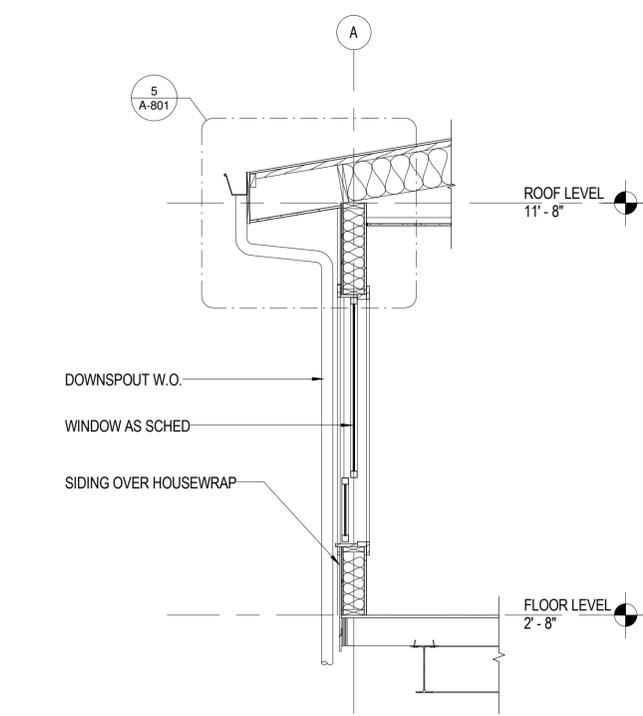
8 DOUBLE COLUMNS AT MODULAR JOINT
SCALE: 6" = 1'-0"



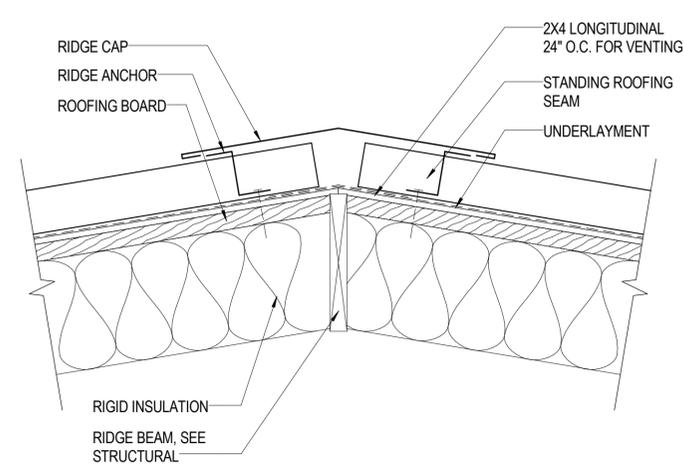
4 FLOOR AT MATELINE
SCALE: 1" = 1'-0"



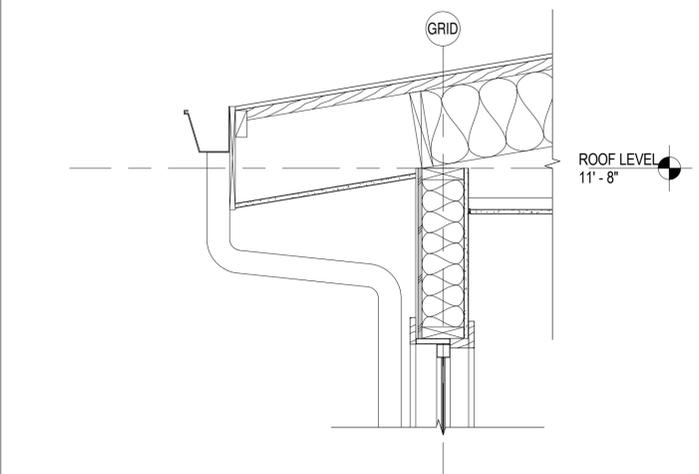
2 TYPICAL PERIMETER WALL FOOTING
SCALE: 1" = 1'-0"



10 WALL SECTION
SCALE: 1/2" = 1'-0"



7 RIDGE DETAIL
SCALE: 1 1/2" = 1'-0"



5 ROOF TO END WALL
SCALE: 1" = 1'-0"

DWG. NO. **A-801**
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REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
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RFP-19-HHL-007

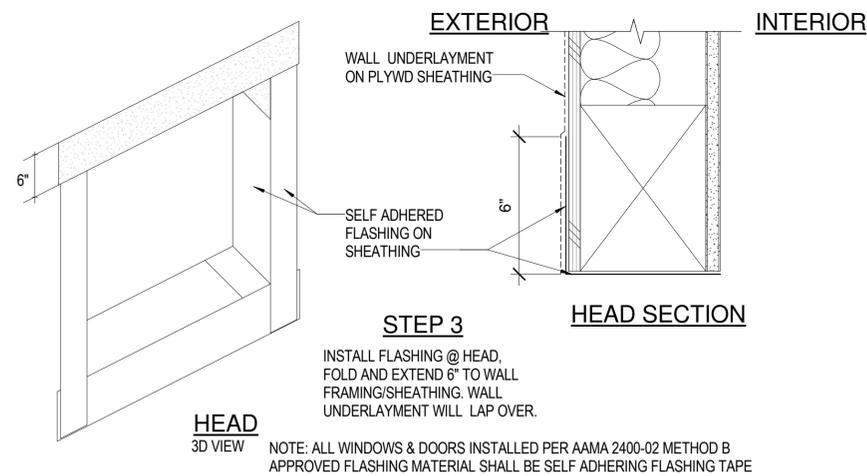
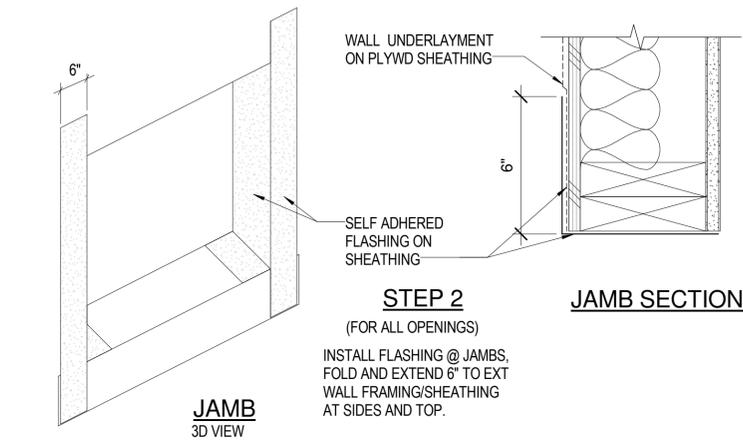
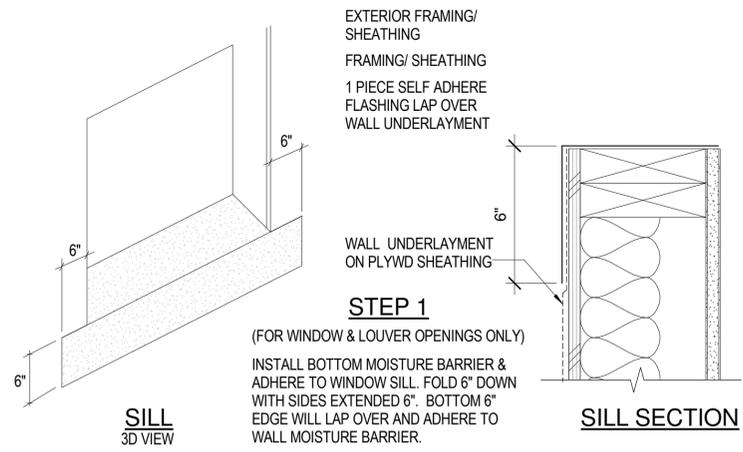
DETAILS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

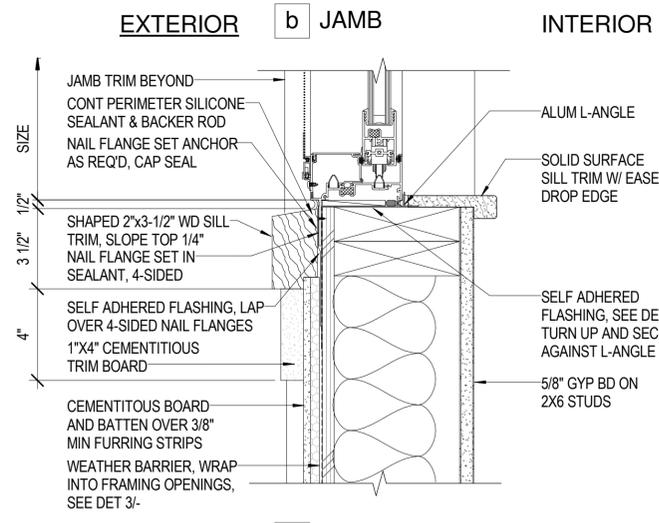
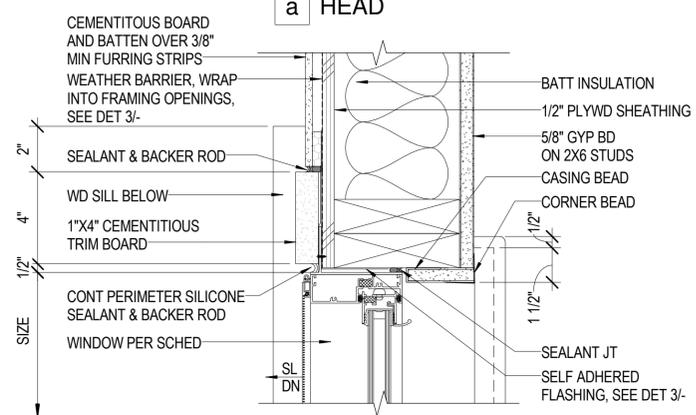
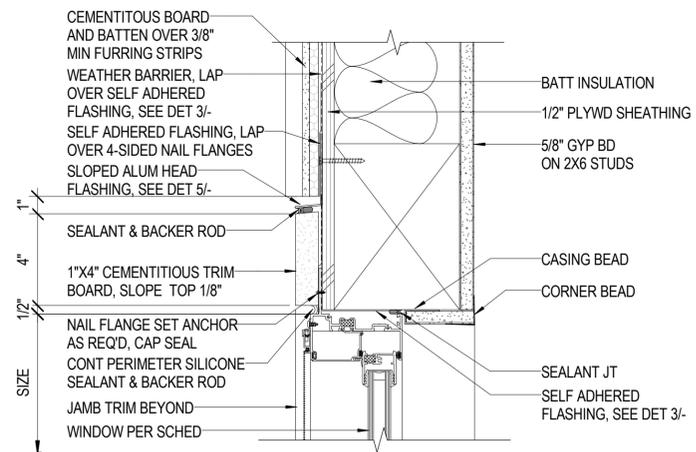
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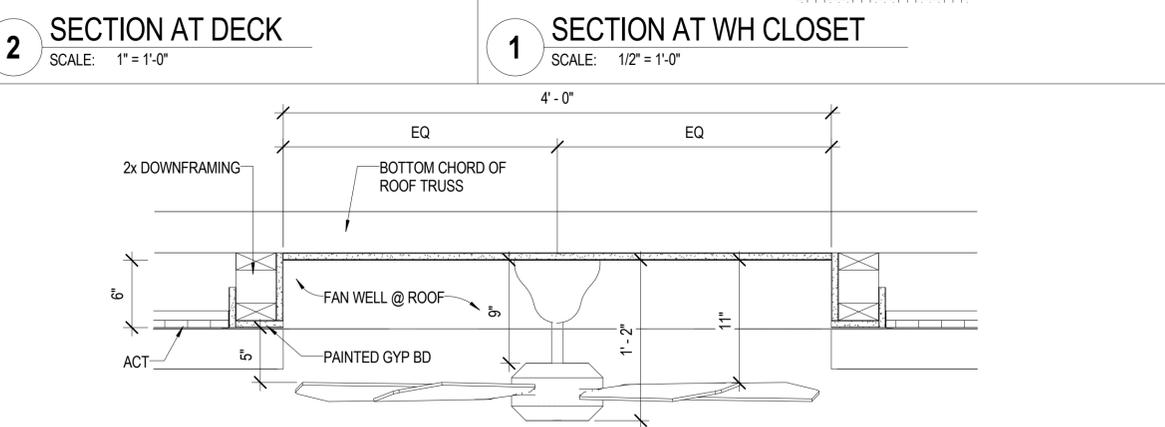
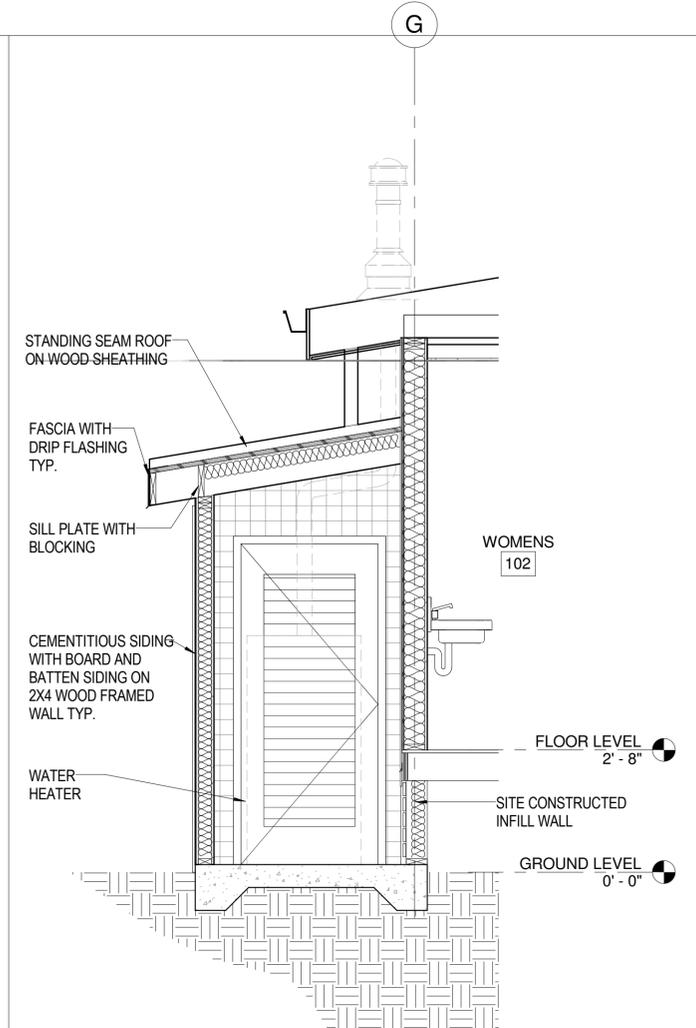
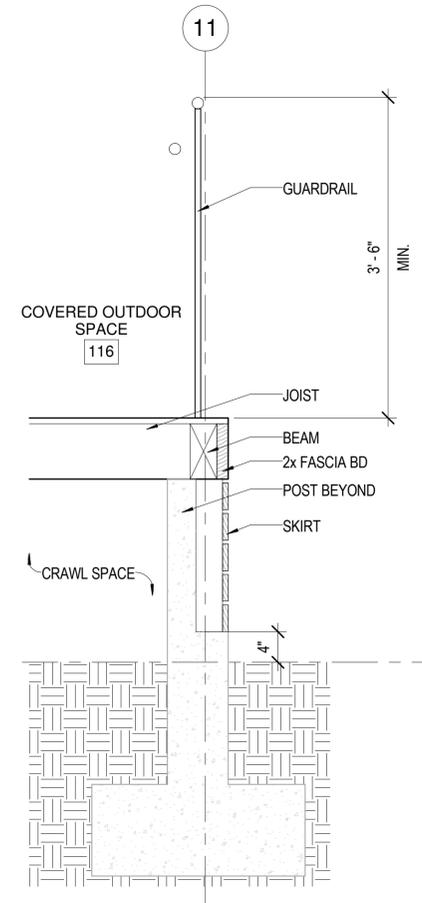
FILE	POCKET	FOLDER	NO.



5 FLASHING DETAIL AROUND EXTERIOR OPENINGS
SCALE: 3" = 1'-0"



4 SLIDING WINDOW DETAILS
SCALE: 3" = 1'-0"



3 CEILING FAN DETAIL
SCALE: 1 1/2" = 1'-0"

REVISION	DATE	BRIEF	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HO'OLEHUA VETERAN AND HOMESTEAD
RESIDENT'S CENTER
RFP-19-HHL-007

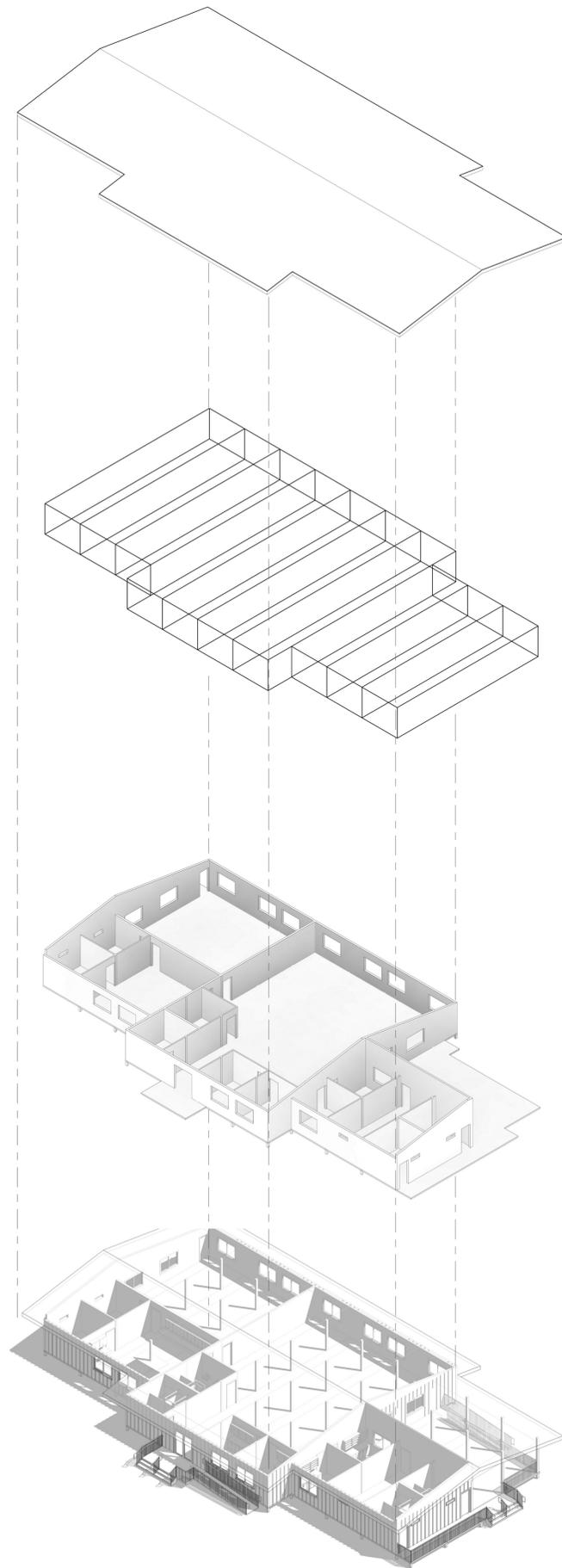
DETAILS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

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A-802
SHEET 23 OF 57

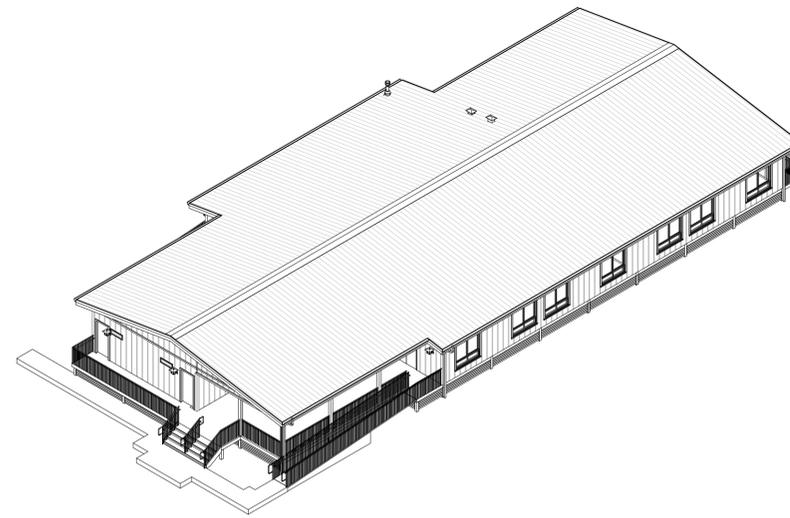
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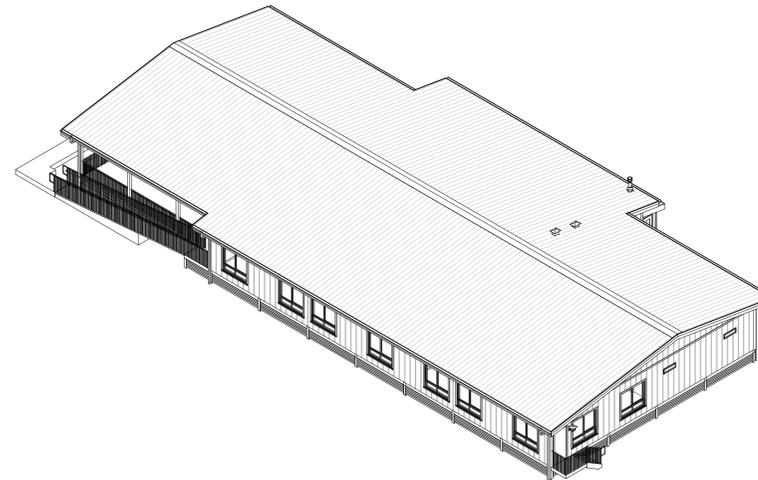
← ROOF

← MODULE UNITS

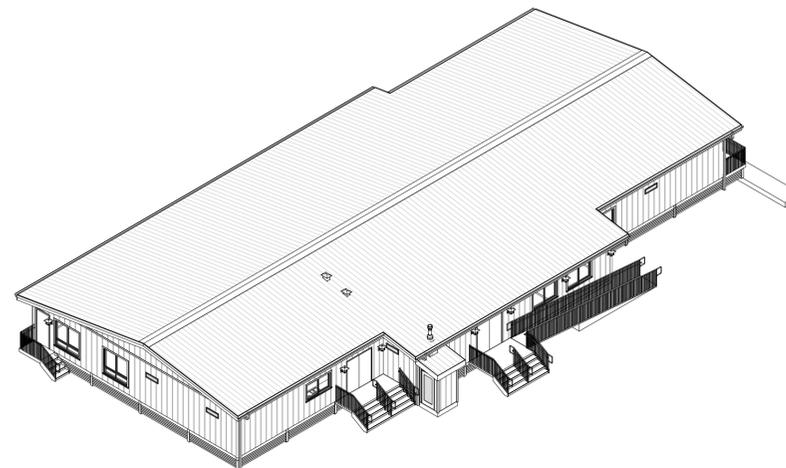
← WALLS



NORTHEAST PERSPECTIVE



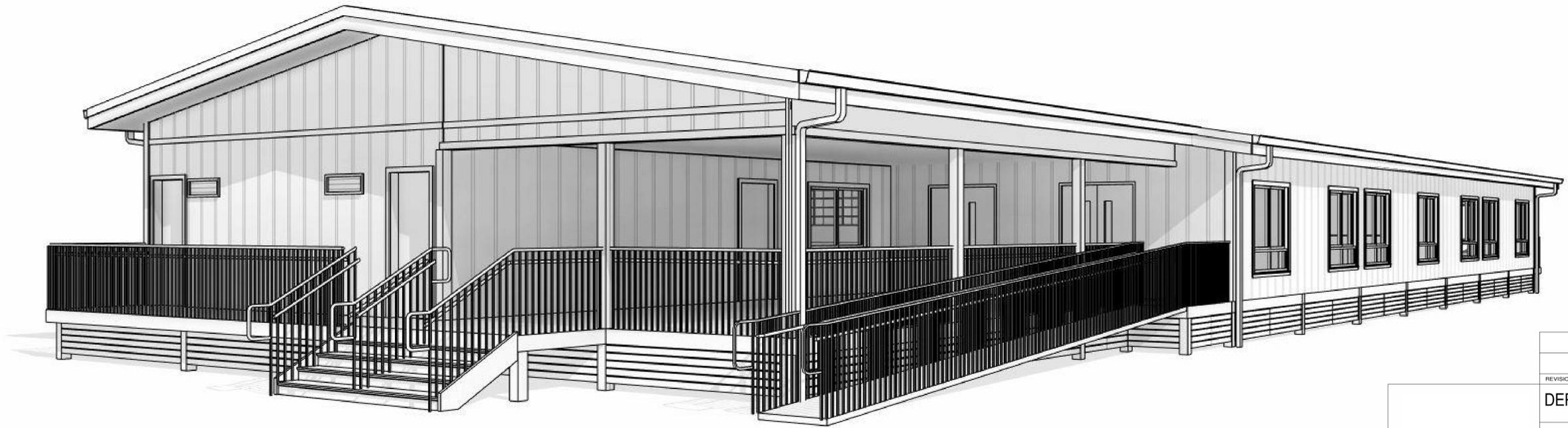
NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

DWG. NO.
A-904
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REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
ISOMETRIC VIEWS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				
FILE	POCKET	FOLDER	NO.	

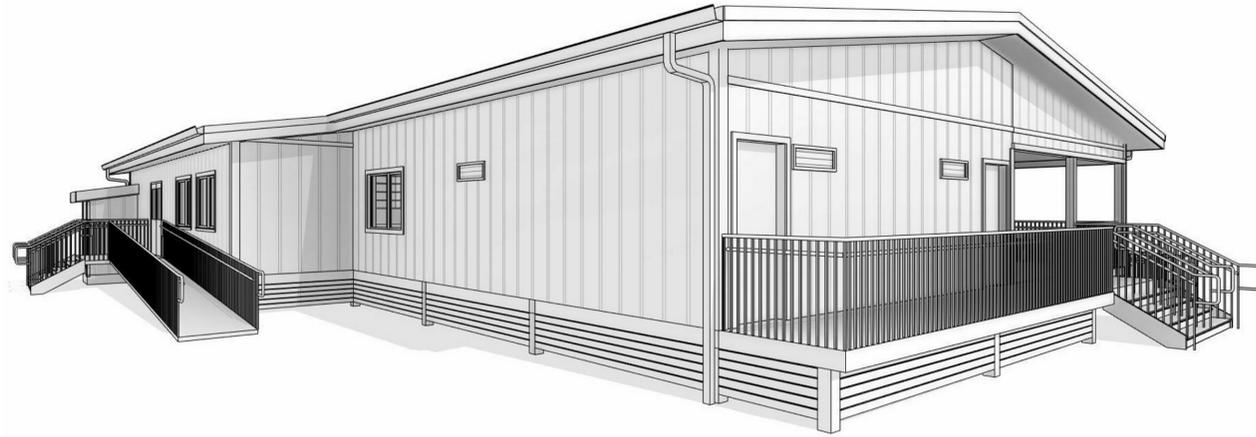


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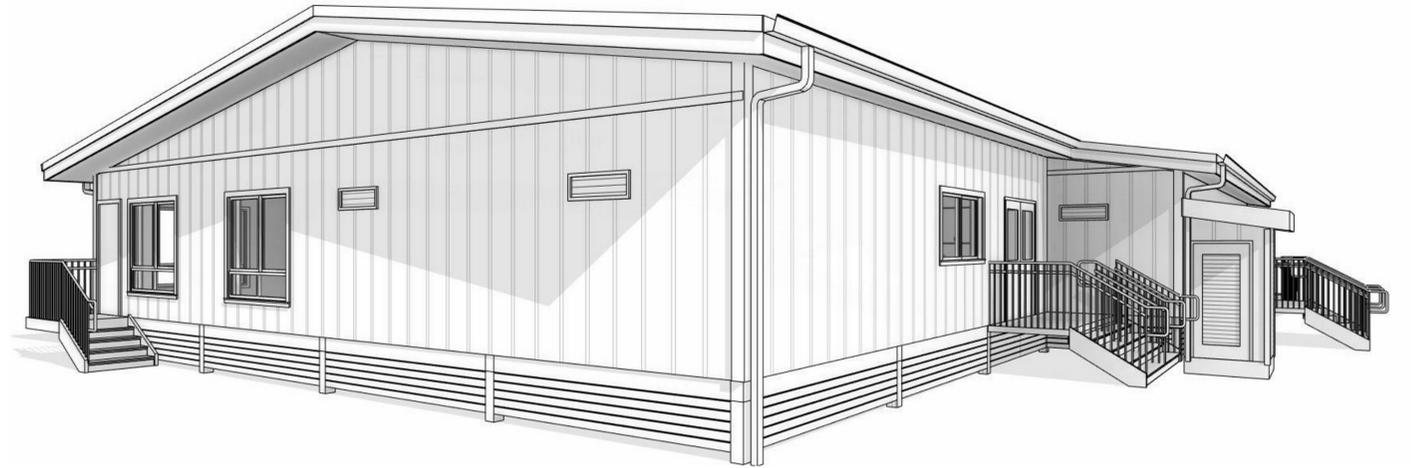
DWG. NO.
A-905
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REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
PERSPECTIVE VIEWS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				
FILE	POCKET	FOLDER	NO.	

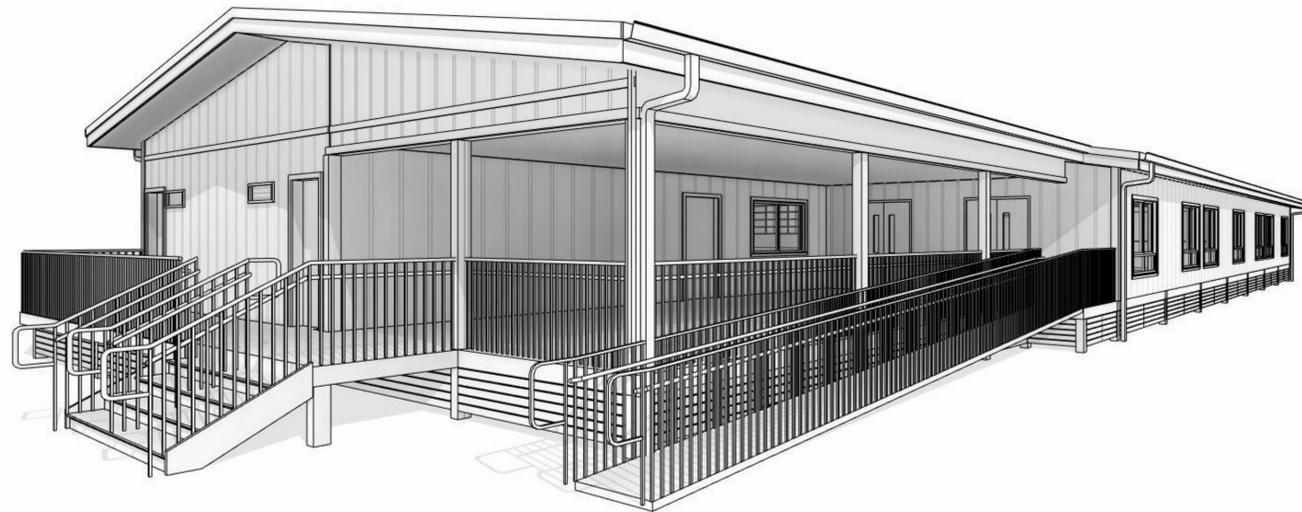
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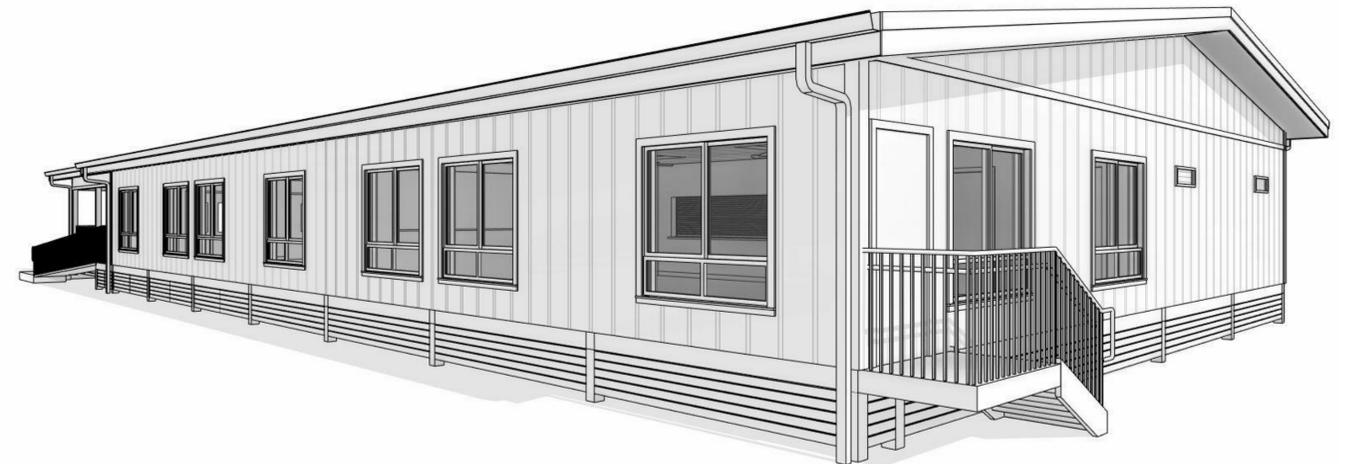
SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

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DWG. NO.
A-906
SHEET 26 OF 57

REVISION	DATE	BRIEF	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
PERSPECTIVE VIEWS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				JUNE 2019
FILE	POCKET	FOLDER	NO.	

STATE OF HAWAII
DEPARTMENT OF HAWAIIAN HOME LANDS

CONSTRUCTION PLANS FOR
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER
HOOLEHUA, MOLOKAI, HAWAII
TAX MAP KEY: (2) 5-2-15: 53

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE "AS-BUILT" OF RECORD CONSTRUCTION PLANS AND ARE APPROXIMATE ONLY AND THEIR ACCURACY IS NOT GUARANTEED.
- EXISTING CONTOURS AND FEATURES ARE BASED ON "TOPOGRAPHIC SURVEY MAP MOLOKAI LANIKEHA/HOOLEHUA COMMUNITY CENTER, HOOLEHUA-PALAAU HOMESTEADS" PREPARED BY CONTROL POINT SURVEYING INC. DATED AUGUST 21, 2016.
- ELEVATIONS SHOWN WERE ESTABLISHED ONSITE USING GPS OBSERVATIONS AND ARE BASED HORIZONTAL DATUM: NAD 83 HI ZONE 2 STATE PLANE COORDINATES, U.S. FEET.
- EXISTING GRADES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH GRADING WORK. SHOULD ANY DISCREPANCIES BE DISCOVERED IN THE EXISTING GRADES OR DIMENSIONS GIVEN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER BEFORE PROCEEDING ANY FURTHER WITH THE WORK, OTHERWISE HE WILL BE HELD RESPONSIBLE FOR ANY COST INVOLVED IN THE CORRECTION OF CONSTRUCTION PLACED DUE TO SUCH DISCREPANCIES.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE PROPOSED PLAN TO THE OWNER'S REPRESENTATIVE AND SHALL DEMOLISH, REMOVE, OR RELOCATE ALL EXISTING UTILITIES, IMPROVEMENTS, ETC. INCONSISTENT WITH THE PROPOSED PLAN AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND AT THE CONTRACTOR'S EXPENSE.
- THE LATEST REVISIONS OF THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION," SEPTEMBER 1984 AND THE "HAWAII STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," 2005 SHALL BE INCLUDED AS PART OF THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS BEFORE COMMENCING CONSTRUCTION.
- SHOULD HISTORIC SITES SUCH AS WALLS, PLATFORMS, PAVEMENTS AND MOUNDS, OR REMAINS SUCH AS ARTIFACTS, BURIALS, CONCENTRATION OF CHARCOAL OR SHELLS BE ENCOUNTERED DURING CONSTRUCTION WORK, WORK SHALL CEASE IN THE IMMEDIATE VICINITY OF THE FIND AND THE FIND SHALL BE PROTECTED FROM FURTHER DAMAGE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE STATE HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), WHICH WILL ASSESS THE SIGNIFICANCE OF THE FIND AND RECOMMEND MITIGATION MEASURES, IF NECESSARY.
- PURSUANT TO CHAPTER 6E OF THE HAWAII REVISED STATUTES, ALL CONTRACTORS SHALL ENSURE THAT IN THE EVENT THAT ANY HUMAN SKELETAL REMAINS ARE INADVERTENTLY DISCOVERED DURING CONSTRUCTION, THE REMAINS SHALL NOT BE MOVED AND ANY ACTIVITY IN THE IMMEDIATE AREA THAT COULD DAMAGE THE REMAINS OR THE POTENTIAL HISTORIC SITE SHALL CEASE AND THE DEPARTMENT OF LAND AND NATURAL RESOURCES' HISTORIC PRESERVATION DIVISION (PH: 243-1285 OR 243-4640), THE APPROPRIATE MEDICAL EXAMINER OR CORONER, AND THE POLICE DEPARTMENT (TELEPHONE: 244-6400) SHALL BE CONTACTED. ALL LESSEES USING EXISTING DIRT ROADS TO ACCESS THEIR PROPERTY SHALL CONTINUE TO BE PROVIDED ACCESS TO THEIR PROPERTY AT ALL TIMES DURING CONSTRUCTION ACTIVITIES BY THE CONTRACTOR.

PUBLIC HEALTH, SAFETY AND CONVENIENCE NOTES

- THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE AND COUNTY LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH AND SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND ITS SURROUNDING AREAS FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH. THE COUNTY MAY REQUIRE SUPPLEMENTARY MEASURES AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

ARCHAEOLOGICAL NOTE

IN THE EVENT THAT ANY HISTORICAL RESOURCES, INCLUDING HUMAN SKELETAL REMAINS, STRUCTURAL REMAINS, CULTURAL DEPOSITS, OR LAVA TUBES ARE IDENTIFIED DURING CONSTRUCTION ACTIVITIES, CEASE WORK IN THE IMMEDIATE VICINITY OF THE FIND, PROTECT THE FIND FROM DISTURBANCE, AND CONTACT THE STATE HISTORIC PRESERVATION DIVISION AT (808) 243-1285.

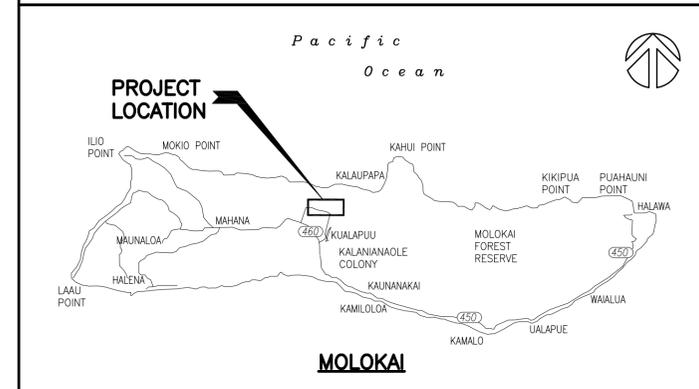
ABBREVIATIONS

Z	ANGLE	MAX	MAXIMUM
A	AREA	MECH	MECHANICAL
AC	ASPHALT CONCRETE OR ACRE	MEP	MECHANICAL, ELECTRICAL AND PLUMBING
ACS	ACRES	MB	MAILBOX OR METER BOX
A/C	AIR CONDITIONING	MH	MANHOLE
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MON	MONUMENT
ARV	AIR RELEASE VALVE	M/N	METER NUMBER
ATT	AT&T CABLE	NO.	NUMBER
AVE	AVENUE	NON-POT	NON-POTABLE
Ø	BASELINE	O.C.	ON CENTER
BC	BOTTOM OF CURB	OH, O/H	OVERHEAD
BFP	BACK FLOW PREVENTER/(ASSEMBLY)	PAVT	PAVEMENT
BLDG	BUILDING	PC	POINT OF CURVATURE
BOT	BOTTOM	PCC	POINT OF COMPOUND CURVE
BW	BOTTOM OF WALL	PERF	PERFORATED
C&C	CITY AND COUNTY OF HONOLULU	PI	POINT OF INTERSECTION
Ø	CENTERLINE	PVC	POINT OF INTERSECTION ON VERTICAL CURVE
C	CHORD		
CATV	CABLE TELEVISION	PM	PARKING METER
CB	CATCH BASIN	POC	POINT ON CURVE
CHWS	CHILL WATER SERVICE	POT	POTABLE
CHWR	CHILL WATER RETURN	PP	POWER POLE
CF	CURB FACE	PRC	POINT OF REVERSE CURVE
A.L.	CHAIN LINK	PRV	PRESSURE REDUCING VALVE
CMU	CONCRETE MASONRY UNIT	PSL	PEDESTRIAN SIGNAL LIGHT
CO	CLEAN OUT	PT	POINT OF TANGENCY
COL	COLUMN	PVC	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVE
COMM	COMMUNICATION	PVI	POINT OF VERTICAL INTERSECTION
CONC	CONCRETE	PVT	POINT OF VERTICAL TANGENCY
CONN	CONNECTION	R	RADIUS
CRM	CONCRETE RUBBLE MASONRY	REF, REFL	REFLECTOR
CW	COLD WATER	ROW, R/W	RIGHT-OF-WAY
COTG	CLEAN OUT TO GRADE	S	SEWER, SLOPE OR SPREAD
D	DIAMETER, DEPTH OR DRAIN	SC	SIGNAL CORPS
DI	DRAIN INLET	SCH 40	SCHEDULE 40
Ø	DIAMETER	SCH 80	SCHEDULE 80
DCV	DETECTOR CHECK VALVE	SCMH	SIGNAL CORPS MANHOLE
DEFL	DEFLECTION	SDMH	STORM DRAIN MANHOLE
DET	DETAIL	SF	SQUARE FOOT, SQUARE FEET
DMH	DRAIN MANHOLE	SL	STREET LIGHT
D.P.P	DEPT OF PLANNING AND PERMITTING	SLB	STREET LIGHT BOX
DS	DOWNSPOUT	SMH	SEWER MANHOLE
DSP	DRY STAND PIPE	SPR	SPRINKLER
DWGS	DRAWINGS	ST	STREET
DWY	DRIVEWAY	STA	STATION
E,ELEC	ELECTRIC	STD	STANDARD
ELEV, EL	ELEVATION	STRUCT	STRUCTURAL
EG	EXISTING GROUND	SW, S/W	SIDEWALK
EOP	EDGE OF PAVEMENT	TC	TOP OF CURB
EP	ELECTRICAL POLE	TDC	TOP OF DROPCURB
EX, EXIST, (E)	EXISTING	T	TANGENT OR TELEPHONE
FA	FIRE ALARM	TEL	TELEPHONE
FDC	FIRE DEPT CONNECTION	TG	TOP OF GRATE
FG	FINISH GRADE	THRU	THROUGH
FH	FIRE HYDRANT	TMK	TAX MAP KEY
FL	FLOW LINE	TP	TOP OF PIPE
FM	FORCE MAIN	TRC	TOP OF ROLLED CURB
FS	FINISH SURFACE	TS	TOP OF STEM
FT	FEET	TSL	TRAFFIC SIGNAL LIGHT
GAS	GRADE BREAK	TSLB	TRAFFIC SIGNAL LIGHT BOX
GB	GRADE BREAK	TV	TOP OF VALVE
GI	GRATED INLET	TW	TOP OF WALL
GMH	GAS MANHOLE	TYP	TYPICAL
GND	GROUND	UP	UTILITY POLE
GP	GUARD POST/GUY POLE/GATE POST	UP/SL	UTILITY POLE WITH STREET LIGHT
GV	GATE VALVE	VAR	VARIABLE OR VARIABLE
GW	GUY WIRE	VB	VALVE BOX
H, HT	HEIGHT	W	WATER
HB	HOSE BIBB	WL	WATER LINE
HECO	HAWAIIAN ELECTRIC COMPANY	WM	WATER METER
HDPE	HIGH DENSITY POLYETHYLENE	WMB	WATER METER BOX
HP	HIGH POINT	WMH	WATER MANHOLE
HW	HOT WATER	WSE	WATER SERVICE ELEVATION
ICV	IRRIGATION CONTROL VALVE	WV	WATER VALVE
INV	INVERT	X-WALK	CROSSWALK
IRR	IRRIGATION		
JTS	JOINT TRUNKING SYSTEM		
JKT	JACKET		
L	LENGTH OR LENGTH OF CURVE		
LID	LOW IMPACT DEVELOPMENT		
LP	LAMP OR LIGHT POLE		
LPT	LOW POINT		

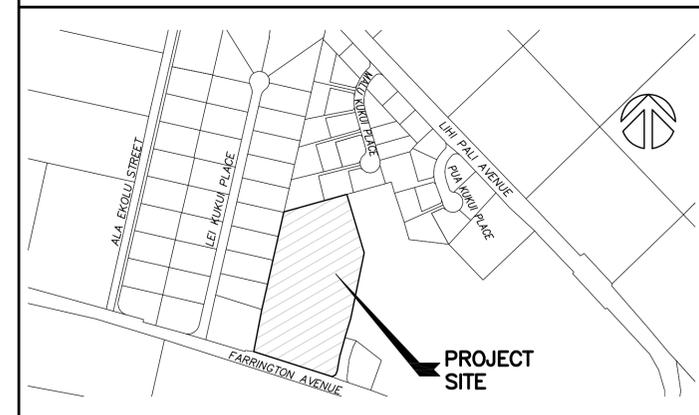
INDEX TO DRAWINGS

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27	C001	TITLE SHEET
28	C002	NOTES 1
29	C003	NOTES 2
30	C100	DEMOLITION PLAN
31	C200	TYPICAL SECTIONS
32	C201	SITE PLAN
33	C300	FINISH GRADE PLAN
34	C301	EROSION CONTROL PLAN
35	C302	EROSION CONTROL DETAILS
36	C500	UTILITY PLAN
37	C501	UTILITY PROFILES
38	C502	UTILITY DETAILS
39	C503	UTILITY DETAILS 2
40	C600	MISCELLANEOUS DETAILS

LOCATION MAP



VICINITY MAP



REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER
RFP-19-HHL-007

TITLE SHEET

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

DWG. NO.
C001
SHEET 27 OF 57

FILE	POCKET	FOLDER	NO.

WATER SYSTEM

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF WATER SUPPLY (DWS), IN WRITING, ONE (1) WEEK PRIOR TO COMMENCEMENT OF WORK.
2. ALL MATERIALS USED AND METHOD OF CONSTRUCTION OF WATER SYSTEM FACILITIES SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF DWS STANDARDS. CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS OF THE DWS STANDARD DETAILS BEFORE COMMENCING CONSTRUCTION.
3. ALL WATER SYSTEM WORK SHALL BE PERFORMED BY CONTRACTORS POSSESSING VALID STATE OF HAWAII CONTRACTOR'S LICENSES, REGARDLESS OF THE VALUE OF THE WORK.
4. THE EXACT DEPTH AND LOCATION OF EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES ARE NOT KNOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE SAME PRIOR TO TRENCHING FOR THE NEW WATERLINE. THE COST OF LOWERING, RELOCATING OR ADJUSTING EXISTING WATERLINES, SERVICE LATERALS AND OTHER UTILITIES SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE NEW WATERLINE, UNLESS NOTED OTHERWISE, AND WILL NOT BE PAID FOR SEPARATELY.
5. CONCRETE FOR REACTION BLOCKS AND ANCHOR BLOCKS SHALL BE DWS CLASS 2500.
6. THE MAXIMUM DISTANCE BETWEEN VALVE NUT AND TOP OF VALVE MANHOLE COVER SHALL BE THREE (3) FEET.
7. THE CONTRACTOR SHALL SUBMIT A MATERIALS LIST TO DWS FOR APPROVAL PRIOR TO CONSTRUCTION.
8. CONNECTION TO DWS SYSTEM:
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL NECESSARY FITTINGS AND OTHER MATERIALS AND EQUIPMENT REQUIRED FOR THE HOOK-UP. HE SHALL VERIFY THE EXACT LOCATION, DEPTH, TYPE, AND CONDITION OF THE EXISTING LINE BEFORE ORDERING MATERIALS FOR THE HOOK-UP. HE SHALL, HOWEVER, CHECK WITH DWS BEFORE EXCAVATING FOR VERIFICATION PURPOSES.
 - B. WHENEVER FEASIBLE, MECHANICAL JOINT FITTINGS SHALL BE USED FOR BURIED APPLICATIONS, AND FLANGED JOINT FITTINGS SHALL BE USED FOR EXPOSED APPLICATIONS.
 - C. AUTHORIZED DWS PERSONNEL MAY BE REQUIRED TO MAKE THE FINAL CONNECTION TO THE EXISTING LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED BY DWS FOR SAID WORK, INCLUDING THE COST OF PRESSURE TESTING AND DISINFECTION.
 - D. IF THE DWS PROVIDES ONLY INSPECTION AND SUPERVISING OPERATORS, AND DOES NOT PROVIDE PERSONNEL FOR THE ACTUAL CONNECTION, THE CONTRACTOR SHALL PROVIDE ALL PIPEFITTERS AND LABORS TO MAKE THE CONNECTION.
 - E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR FOR TRENCH EXCAVATION, BACKFILLING, CLEANING AND CHLORINATION, PAVING, AND OTHER WORK NECESSARY TO COMPLETE THE HOOK-UP, AS DIRECTED BY AND TO THE SATISFACTION OF DWS.
9. MINIMUM COVER OVER WATER MAIN, 6" DIAMETER OR LARGER, SHALL BE 3'-0". MINIMUM COVER FOR 4" DIAMETER SHALL BE 2'-6". MINIMUM COVER FOR DIAMETERS LESS THAN 4" SHALL BE 1'-6".
10. BOLTS FOR EXPOSED FLANGED DUCTILE IRON PIPE JOINTS SHALL BE EITHER SILICON BRONZE BOLTS AND NUTS OR 316 STAINLESS STEEL BOLTING WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED. T-BOLTS FOR DUCTILE IRON MECHANICAL JOINT (MJ) PIPE AND FITTING CONNECTIONS IN UNDERGROUND SITUATIONS SHALL BE ONE OF THE FOLLOWING SYSTEMS:
 - A. 316 STAINLESS STEEL T-BOLTS WITH THE HEAVY DUTY STAINLESS STEEL NUTS (ONLY) FURNISHED WITH TRIPAC 2000 BLUE COATING SYSTEM. ANTI-SEIZE SHALL NOT BE USED.
 - B. COR-TEN T-BOLTS AND NUTS WITH HIGH GRADE ZINC SACRIFICIAL ANODES, EQUIVALENT TO "DURATRON" SACRIFICIAL "SAC-NUT" MODULES, INSTALLED ON THE NUTS FOR ALL STANDARD COR-TEN T-BOLTS.
 - C. COR-TEN T-BOLTS AND NUTS BOTH FACTORY COATED WITH TRIPAC 2000 BLUE COATING SYSTEM BY "TRIPAC FASTENERS".
11. ALL BURIED METALS SHALL BE WRAPPED WITH POLY-WRAP. FOR ALL BURIED INSTALLATIONS OF DUCTILE IRON PIPE AND FITTINGS, POLY-WRAP IS REQUIRED EXCEPT WITHIN CONCRETE JACKETS.
12. LUBRICATE HYDRANT NOZZLE THREADS WITH NON-TOXIC GREASE.
13. THE CONTRACTOR SHALL PAINT AND NUMBER THE FIRE HYDRANT. NUMBERING TO BE FURNISHED BY DWS.
14. WATER MAINS AND APPURTENANCES SHALL BE SUBJECT TO HYDROSTATIC TESTING IN ACCORDANCE WITH THE LATEST REVISION OF AWWA C600, UNDER THE "HYDROSTATIC TESTING" SECTION, TO A PRESSURE OF AT LEAST 1.5 TIMES THE WORKING PRESSURE. UNLESS OTHERWISE STATED IN THE CONSTRUCTION DOCUMENTS OR LIMITED BY THE PRESSURE RATING OF EQUIPMENT, THE PRESSURE TEST AND LEAKAGE TEST SHALL BE PERFORMED AT 225 POUNDS PER SQUARE INCH PRESSURE.
15. THE DEVELOPER SHALL SUBMIT A COST LIST ALONG WITH AN AFFIDAVIT FOR THE WATER SYSTEM PRIOR TO ACCEPTANCE.
16. THE CONTRACTOR SHALL SUBMIT TWO SETS OF RECORD DRAWINGS VIA A CONSULTANT PRIOR TO ACCEPTANCE OF THE WATER SYSTEM. AN ELECTRONIC IMAGE FILE IN TIFF FORMAT SHALL BE PROVIDED TO THE DWS FOR ALL PROJECTS.

CHLORINATION OF WATER SYSTEM PIPELINES

1. WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. ALL PROCEDURES AND MATERIALS (LIQUID CHLORINE OR CALCIUM HYPOCHLORITE) USED FOR THE CHLORINATION OF THE PROJECT SHALL CONFORM TO AWWA REQUIREMENTS.
2. PRIOR TO CHLORINATION, THE PROJECT PIPELINES SHALL BE THOROUGHLY CLEANED. CLEANING OF LINES 8" AND LARGER SHALL BE BY PIGGING USING FOAM PIGS. SMALLER LINES CAN BE FLUSHED IN ACCORDANCE WITH AWWA REQUIREMENTS IF ADEQUATE WATER SUPPLY IS PROVIDED, OTHERWISE BY PIGGING. THE CONTRACTOR SHALL SUBMIT HIS PLAN FOR PIPELINE CLEANING, INCLUDING FITTING REQUIREMENTS FOR PIGGING, FOR APPROVAL PRIOR TO PROCEEDING.
3. THE INTERIOR SURFACES OF THE PROJECT SHALL BE EXPOSED TO THE CHLORINATING SOLUTION FOR A MINIMUM OF 24 HOURS AND THE CHLORINE RESIDUAL SHALL NOT BE LESS THAN 10 PPM AFTER SUCH TIME.
4. SHOULD CALCIUM HYPOCHLORITE BE USED, NO SOLID AND/OR UNDISSOLVED PORTION OF THE COMPOUND SHALL BE INTRODUCED INTO ANY SECTION OF THE PROJECT TO BE CHLORINATED.
5. AT THE END OF THE 24-HOUR DISINFECTION PERIOD, REPRESENTATIVE SAMPLES SHALL BE TAKEN AND ANALYZED TO ASSURE A CHLORINE RESIDUAL OF AT LEAST 10 PPM. MEASUREMENTS FOR CHLORINE RESIDUAL TESTS SHALL BE BY A TRAINED, QUALIFIED TESTER APPROVED BY THE DIRECTOR.
6. SHOULD THE RESULTS INDICATE ADEQUATE CHLORINATION, THE PROJECT SHALL BE THOROUGHLY FLUSHED AND FILLED WITH POTABLE WATER FROM THE EXISTING POTABLE WATER SYSTEM AND AGAIN TESTED FOR CHLORINE RESIDUAL. THE FLUSHING SHALL BE CONSIDERED ADEQUATE IF THE TEST RESULTS INDICATE THAT THE WATER IN THE PROJECT HAS A COMPARABLE CHLORINE RESIDUAL AS THE WATER IN THE EXISTING SYSTEM.
7. FOLLOWING THE ACCEPTABLE FLUSHING OF THE HIGH CONCENTRATION CHLORINE SOLUTION, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES SHALL BE TAKEN AT LEAST 24 HOURS APART FROM REPRESENTATIVE POINTS IN THE PROJECT AND SUBJECTED TO MICROBIOLOGICAL TESTS PERFORMED BY A CERTIFIED LABORATORY APPROVED BY THE DEPARTMENT OF HEALTH. AT LEAST ONE SET OF SAMPLES SHALL BE COLLECTED AND TESTED FROM EVERY 1,200 FEET OF THE NEW WATER MAIN, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE SET FROM EACH BRANCH. POSITIVE RESULTS WILL NOT BE ACCEPTABLE AND THE ENTIRE CHLORINATION PROCESS WILL BE REPEATED.
8. ANALYSIS FOR RESIDUAL CHLORINE SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
9. MICROBIOLOGICAL TESTS SHALL BE MADE IN ACCORDANCE WITH "STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER", AMERICAN PUBLIC HEALTH ASSOCIATION, CURRENT EDITION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ALL OF THE FOREGOING.

FILE: 217050-01_28-29_C002_NOTES_2019-03-08.dwg
DATE REV: 6/07/2019

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STATE OF HAWAII
**HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER**
RFP-19-HHL-007

NOTES 2

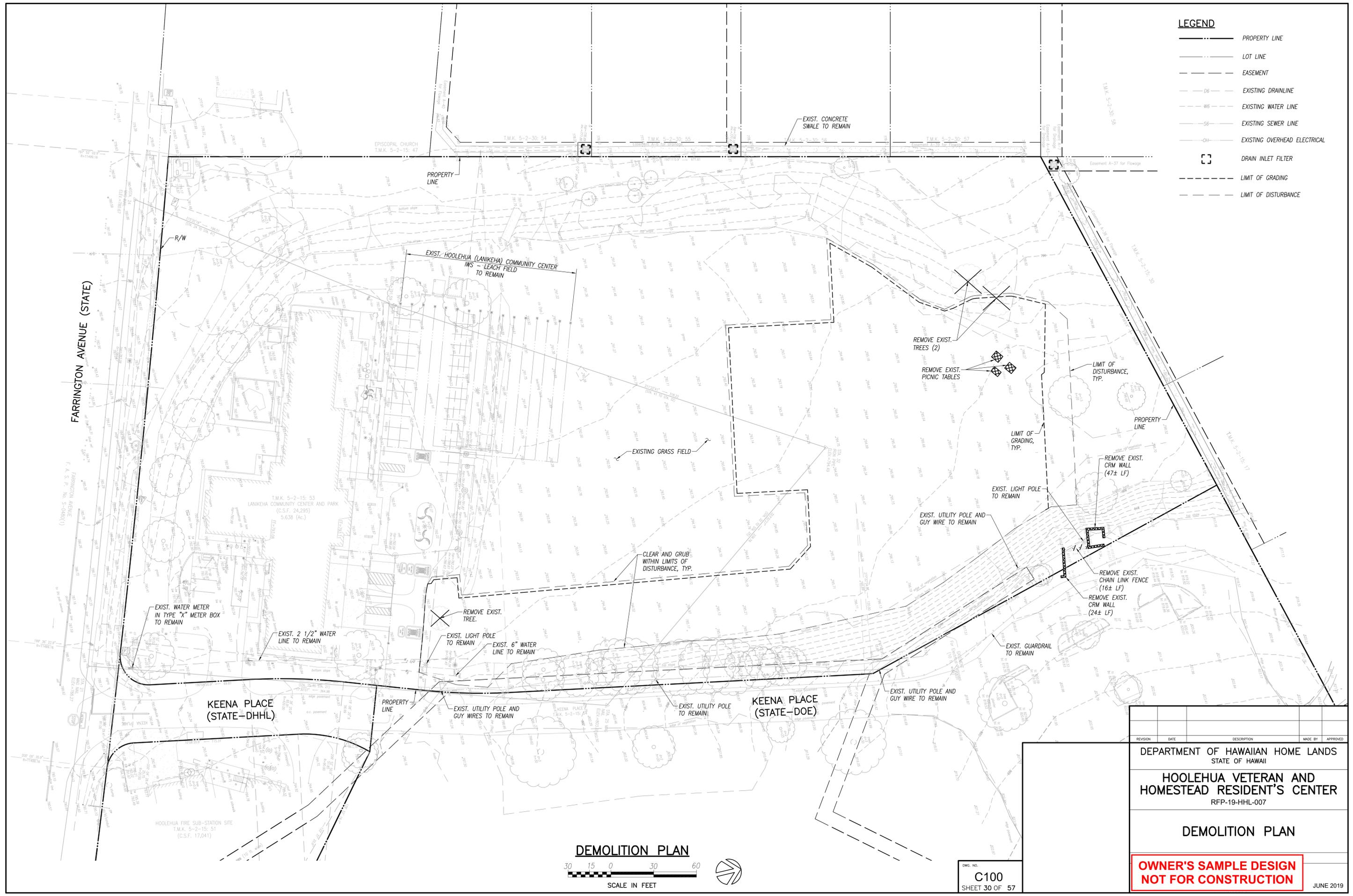
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

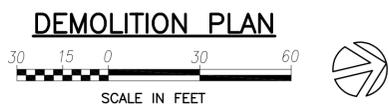
DWG. NO.
C003
SHEET 29 OF 57

FILE	POCKET	FOLDER	NO.

- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - - - EASEMENT
 - - - D6 EXISTING DRAINLINE
 - - - W6 EXISTING WATER LINE
 - - - S6 EXISTING SEWER LINE
 - - - OH EXISTING OVERHEAD ELECTRICAL
 - DRAIN INLET FILTER
 - - - LIMIT OF GRADING
 - - - LIMIT OF DISTURBANCE



FILE: 217050-01_29 C100 DEMOLITION PLAN.dwg
 DATE REV: 5/29/2019



DWG. NO.
C100
 SHEET 30 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

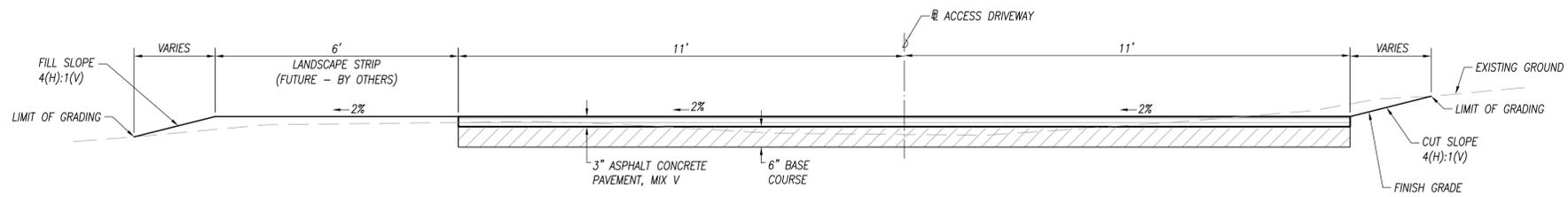
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DEMOLITION PLAN

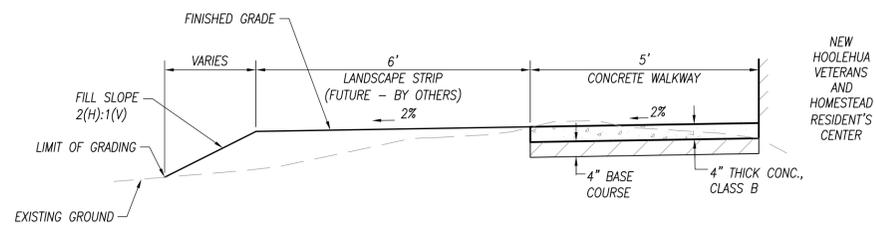
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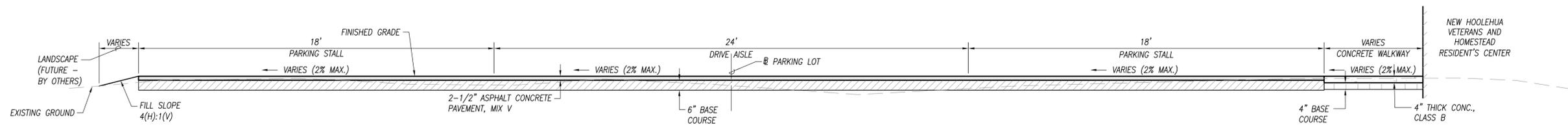
FILE	POCKET	FOLDER	NO.



TYPICAL SECTION A-A
NOT TO SCALE



TYPICAL SECTION B-B
NOT TO SCALE



TYPICAL SECTION C-C
NOT TO SCALE

NOTES:
1. FOR ADDITIONAL DETAILS, SEE DWG C201 AND C300

FILE: 217050-01_31_C200 TYPICAL SECTIONS_2019-03-08.dwg
DATE REV: 6/03/2019

DWG. NO.
C200
SHEET 31 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
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HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
TYPICAL SECTIONS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				JUNE 2019

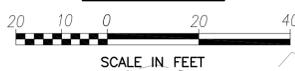
FILE POCKET FOLDER NO.

LEGEND

- PROPERTY LINE
- LOT LINE
- - - EASEMENT
- D6- EXISTING DRAINLINE
- W6- EXISTING WATER LINE
- S6- EXISTING SEWER LINE
- OH- EXISTING OVERHEAD ELECTRICAL

ACCESS DRIVEWAY CURVE DATA						
CURVE NO	Δ	Δ/2	R	T	C	Lc
1	87°57'57"	43°58'58"	40.00	38.60	55.56	61.41
2	98°08'17"	49°04'08.5"	20.00	23.06	30.22	34.26
3	79°23'10"	39°41'35"	20.00	16.60	25.55	27.71

SITE PLAN



KEENA PLACE
(STATE-DOE)

DWG. NO.
C201
SHEET 32 OF 57

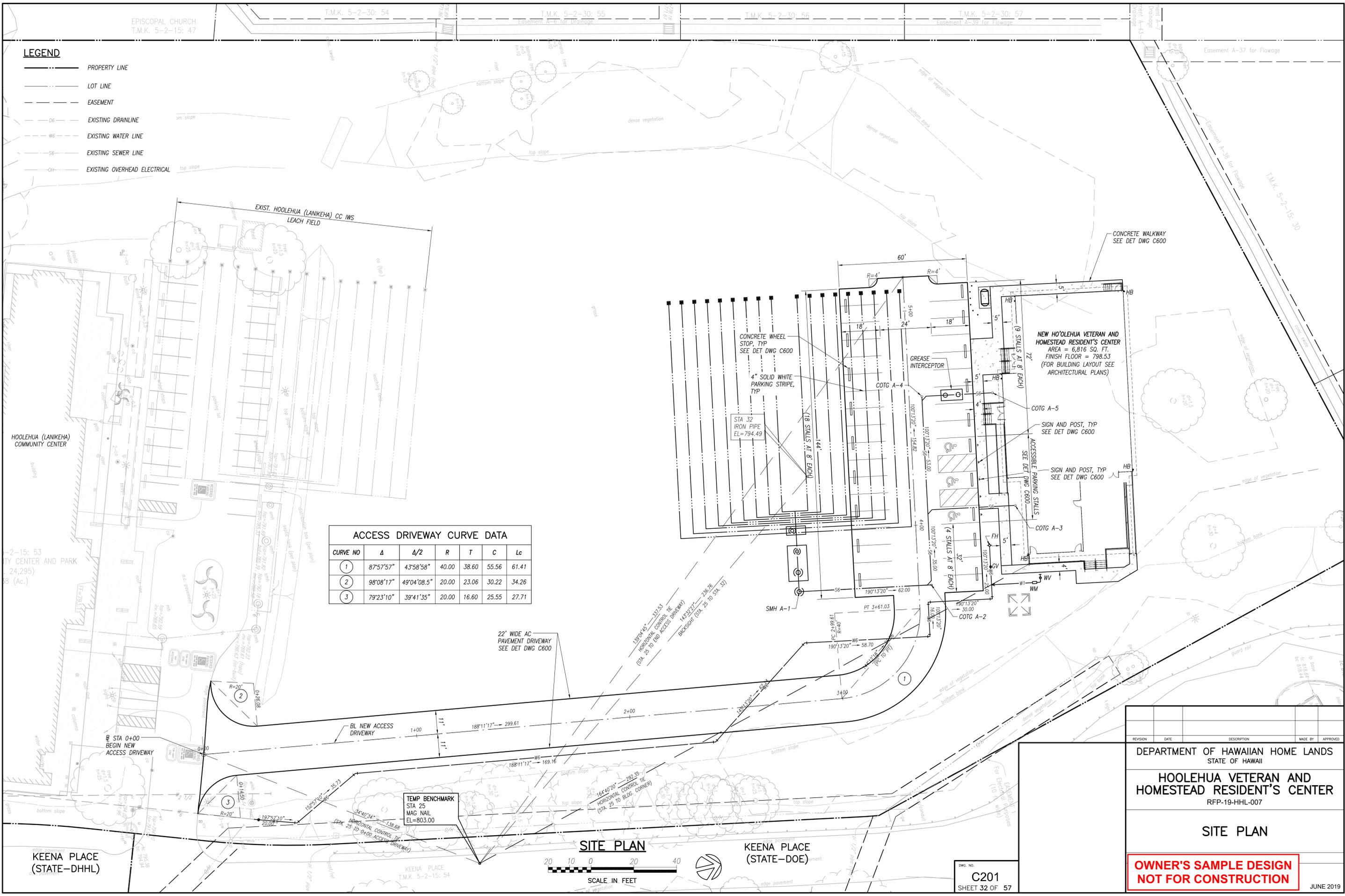
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RFP-19-HHL-007

SITE PLAN

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

FILE: 217050-01_33_C201_SITE_PLAN.dwg
DATE REV: 5/29/2019



EPISCOPAL CHURCH
T.M.K. 5-2-15: 47

T.M.K. 5-2-30: 54

T.M.K. 5-2-30: 55

T.M.K. 5-2-30: 56

T.M.K. 5-2-30: 57

Easement A-37 for Flowage

Easement A-38 for Flowage

Easement A-39 for Flowage

Easement A-38 for Flowage

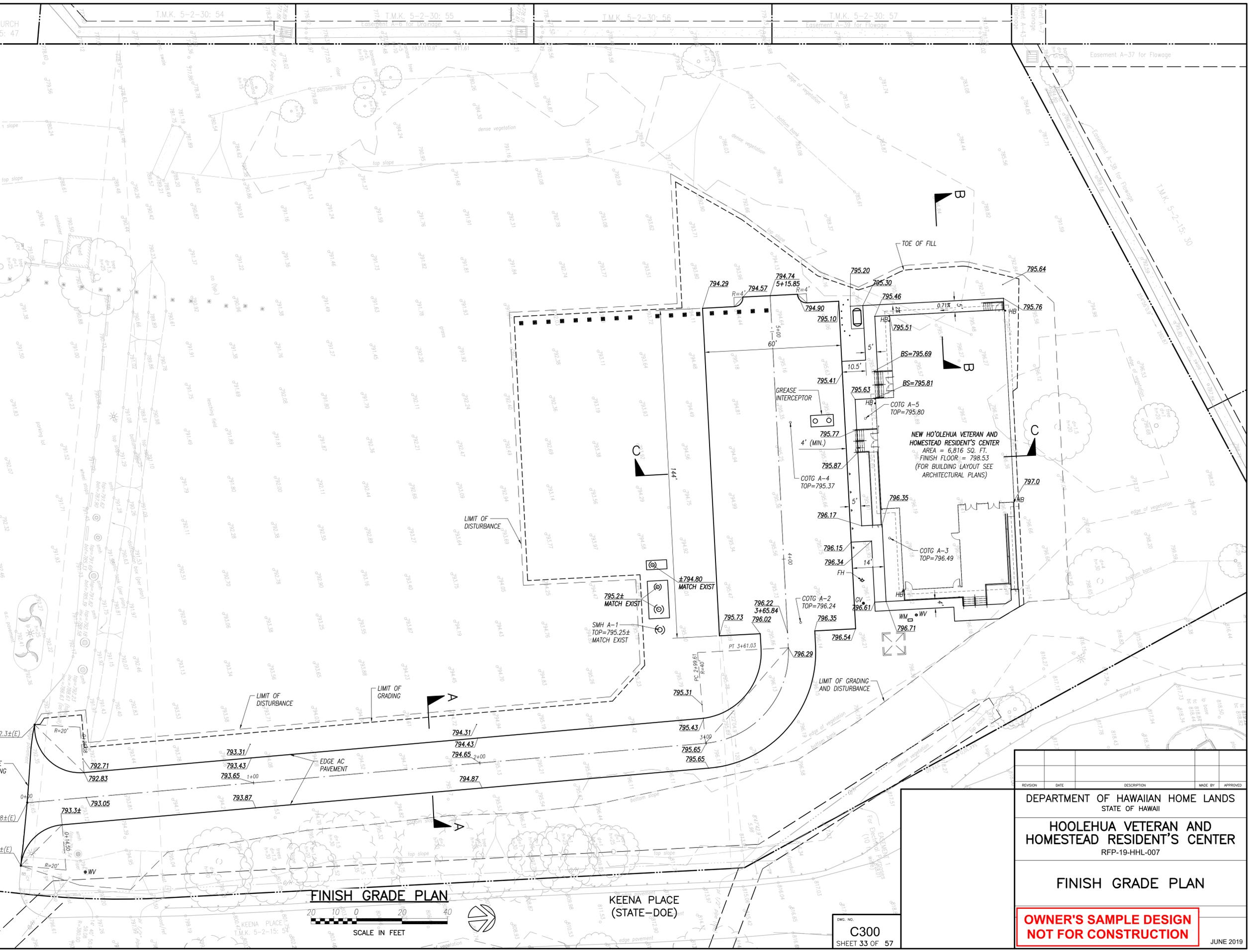
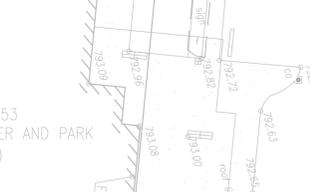
T.M.K. 5-2-15: 30

- LEGEND**
- PROPERTY LINE
 - - - - - LIMIT OF GRADING
 - - - - - LIMIT OF DISTURBANCE
 - X.XX EXISTING GROUND ELEVATION
 - XXX.XX FINISH GRADE ELEVATION
 - - - - - EXISTING GROUND CONTOUR
 - XX FINISH GRADE CONTOUR
 - ←←←← PROPOSED DRAINAGE FLOW

EARTHWORK SUMMARY
(FOR PERMIT PURPOSES ONLY)

EXCAVATION	623 CY
EMBANKMENT	613 CY
GRADED/DISTURBED AREA	0.95 AC

- NOTES:**
1. THE CONTRACTOR, AT HIS OWN COST, SHALL VERIFY THE ACCURACY OF ALL EXISTING GRADES PRIOR TO ANY DEMOLITION, EXCAVATION, ROAD SCARIFICATION OR GROUND DISTURBING WORK AND NOTIFY THE ENGINEER, IN WRITING, OF ANY DISCREPANCIES.
 2. SEE TYPICAL SECTIONS ON DWG C200.



2-15: 53
CENTER AND PARK
(24,295)
(AC.)

KEENA PLACE
(STATE-DHHL)

KEENA PLACE
(STATE-DOE)

FINISH GRADE PLAN



C300
SHEET 33 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

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STATE OF HAWAII

**HOOLEHUA VETERAN AND
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FINISH GRADE PLAN

**OWNER'S SAMPLE DESIGN
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JUNE 2019

FILE: 217050-01_33_C300 FINISH GRADE PLAN_2019-03-08.dwg
DATE REV: 6/03/2019

EPISCOPAL CHURCH
T.M.K. 5-2-15: 47

T.M.K. 5-2-30: 54

T.M.K. 5-2-30: 55

T.M.K. 5-2-30: 56

T.M.K. 5-2-30: 57

Easement A-37 for Flowage

Easement A-38 for Flowage

T.M.K. 5-2-15: 30

BEST MANAGEMENT PRACTICE (BMP) NOTES

1. REFER TO NPDES AND BMP NOTES AND EROSION CONTROL DETAILS ON DWG C303.
2. THE BMP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS AND SHALL BE UPGRADED DURING THE CONSTRUCTION PERIOD AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN RUNOFF DOES NOT LEAVE THE WORK SITE.
3. ALL POINTS OF INGRESS AND EGRESS TO THE SITE SHALL BE PROTECTED WITH A STABILIZED CONSTRUCTION ENTRANCE.
4. PROVIDE INLET FILTER (TRUE DAM @ INLET PROTECTION OR APPROVED EQUAL) FOR ALL CATCH BASIN OPENINGS.
5. DUST CONTROL SHOULD BE APPLIED TO REDUCE DUST EMISSIONS. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES: CHAPTER 11-60, "AIR POLLUTION CONTROL".
6. SEDIMENT SILT FENCES OR BARRIERS (FILTER SOCKS) SHALL BE USED DOWN SLOPE OF ALL DISTURBED AREAS AND ALONG THE PERIMETER OF THE PROJECT AREA.
7. ALL STORM DRAIN INLETS ON SITE AND THOSE OFFSITE WHICH MAY RECEIVE RUNOFF FOR THE SITE SHALL USE AN INLET PROTECTION DEVICE.
8. CONSTRUCTION VEHICLES AND/OR EQUIPMENT UTILIZED DURING THE GRADING WORK WILL BE KEPT ONSITE OR LOADED TO A TRAILER TO BE TRANSPORTED OFFSITE.

LEGEND

- PROPERTY LINE
- LOT LINE
- - - EASEMENT
- D6- EXISTING DRAINLINE
- W6- EXISTING WATER LINE
- S6- EXISTING SEWER LINE
- OH- EXISTING OVERHEAD ELECTRICAL
- ☐ DRAIN INLET FILTER
- SILT FENCE
- - - LIMIT OF GRADING
- - - LIMIT OF DISTURBANCE
- ▨ TEMPORARY STABILIZED CONSTRUCTION INGRESS/EGRESS
- ↗ EXISTING SURFACE DRAINAGE FLOW
- ← EXISTING CONCRETE SWALE FLOW

TEMPORARY MIRAFI GEOTEXTILE FABRIC FOR GRATED DRAIN INLETS, TYP.
SEE DETAIL ON DWG C303

LIMIT OF DISTURBANCE

SILT FENCE, TYP
SEE DET DWG C303

TEMPORARY 10'x10' CONG WASHDOWN BASIN
SEE DET DWG C303

NEW HO'OLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER
AREA = 6,816 SQ. FT.
FINISH FLOOR = 798.53
(FOR BUILDING LAYOUT SEE ARCHITECTURAL PLANS)

SILT FENCE
SEE DETAIL ON DWG C303

LIMIT OF DISTURBANCE

EDGE OF NEW PAVEMENT

TEMPORARY 20'x50' CONSTRUCTION ROAD FOR INGRESS/EGRESS.
SEE DET DWG C303

EROSION CONTROL PLAN

KEENA PLACE (STATE-DOE)



DWG NO.
C301
SHEET 34 OF 57

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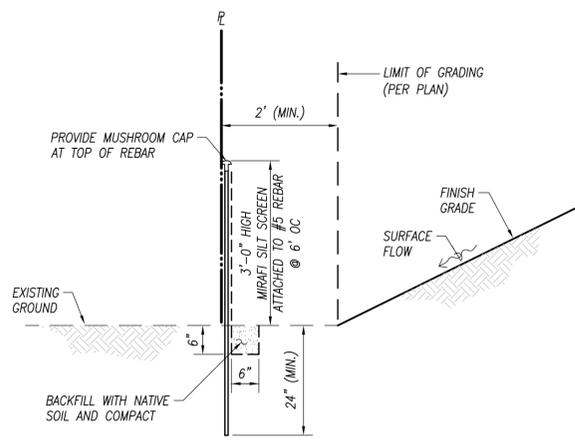
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RFP-19-HHL-007

EROSION CONTROL PLAN

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

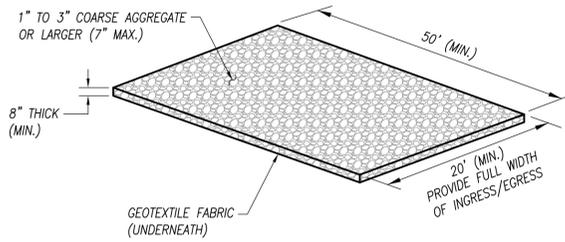
JUNE 2019



SILT FENCE NOTES:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
2. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES AND SHALL NOT EXTEND MORE THAN 36-INCHES ABOVE THE ORIGINAL GROUND SURFACE.
3. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
4. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
5. FILTER FABRIC SHALL BE MIRAFI SILT FENCE, AMOCO SILT STOP #1380 OR APPROVED EQUAL.
6. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE FENCE STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE.

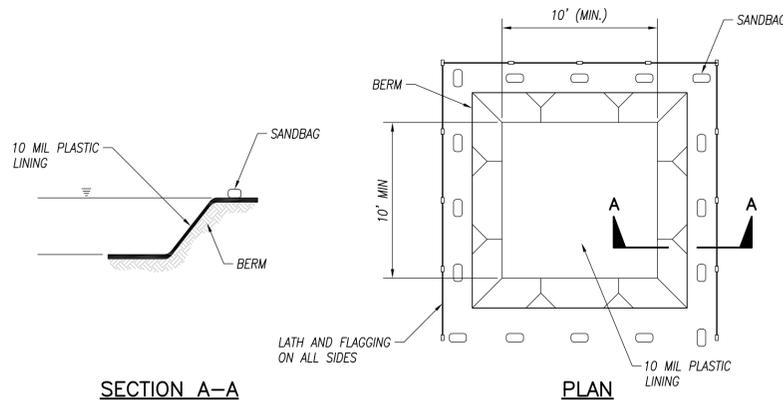
SILT FENCE
NOT TO SCALE



NOTE:

1. ANY SEDIMENT CARRIED FROM THE SITE ONTO THE STREET SHALL BE CLEANED UP IMMEDIATELY.

GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE



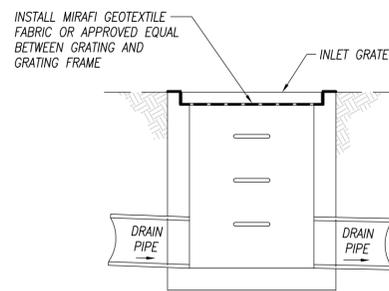
SECTION A-A

PLAN

NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30- FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY

CONCRETE WASHDOWN BASIN DETAIL
NOT TO SCALE



NOTE:

MIRAFI GEOTEXTILE FABRIC SHALL BE INSTALLED UNDER ALL DRAIN INLET GRATES WITHIN THE IMMEDIATE VICINITY OF THE PROJECT SITE.

TEMPORARY GEOTEXTILE FABRIC FOR GRATED DRAIN INLETS
NOT TO SCALE

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) BMP NOTES

1. PERIMETER RUNOFF CONTROL
 - A. SILT FENCE: CONTRACTOR TO INSTALL PERPENDICULAR TO THE DIRECTION OF FLOW AND ALONG THE DOWNHILL SIDE OF THE OPEN GRADING AREAS. LOCATION SHALL BE ADJUSTED DURING THE GRADING OPERATIONS. TEMPORARY SILT FENCE MAY BE USED IN LIEU OF FILTER SOCK AT CONTRACTOR'S DISCRETION.
2. STABILIZATION CONTROL
 - A. TEMPORARY - ALL SLOPES AND EXPOSED AREAS SHALL BE IMMEDIATELY MULCHED OR PLANTED WHEN FINAL GRADES ARE ESTABLISHED OR WHEN GRADING WORK WILL BE DELAYED FOR MORE THAN TWO WEEKS AND BEFORE THE REMOVAL OF THE PROJECT'S TEMPORARY BMP.
 - B. PERMANENT - ALL SLOPES AND EXPOSED AREAS SHALL BE LANDSCAPED WHEN FINAL GRADES ARE ESTABLISHED.
3. STABILIZED CONSTRUCTION ENTRANCE FOR INGRESS/EGRESS WITH AMOCO SERIES 2000 GEOTEXTILE FABRIC OR APPROVED EQUAL, 20' X 50' X 8" THICK, 1" TO 3" COARSE AGGREGATE OR LARGER (7" MAX.)
4. THE CONTRACTOR SHALL ENSURE THAT ALL TIRES OF CONSTRUCTION VEHICLES ARE SUFFICIENTLY CLEANED OFF SO THAT DIRT OR DEBRIS IS NOT TRACKED OFF THE CONSTRUCTION SITE. WASHING OFF TIRES WITH WATER WILL NOT BE ACCEPTABLE UNLESS RUNOFF IS CONTAINED AND DOES NOT ENTER THE STORM DRAIN SYSTEM OR ONTO THE PUBLIC RIGHT-OF-WAY.
5. TEMPORARY EROSION CONTROLS SHALL BE IN PLACE PRIOR TO ANY GRADING OR GRUBBING WORK.
6. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED THROUGHOUT DURATION OF PROJECT.
7. BMP PROVIDED HEREIN ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL USE DISCRETION WHETHER ADDITIONAL BMP MEASURES ARE NECESSARY FOR CONTROLLING SEDIMENT RUNOFF FROM THE PROJECT SITE.
8. EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
9. FILTER SOCKS, SILT FENCES, AND TEMPORARY CONSTRUCTION ENTRANCES WILL REMAIN IN-PLACE UNTIL PERMANENT BMP ARE INSTALLED. CONTRACTOR SHALL MAINTAIN ALL EXISTING BMP MEASURES AND ENSURE THAT IT REMAINS OPERABLE AT ALL TIMES.
10. THE FINAL LIFT OF EACH DAYS WORK SHALL BE COMPACTED TO PREVENT EROSION OF FILL MATERIAL.
11. THE CONTRACTOR SHALL HAVE A COPY OF CURRENT NPDES AND GRADING PERMIT(S) ON SITE AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE A COMPLETED BMP CHECKLIST AT TIME OF OBTAINING THE GRADING PERMIT AND MAINTAIN AN UPDATED RECORD OF SITE INSPECTIONS ON SITE THROUGH THE USE OF BMP CHECKLISTS.
12. THE CONTRACTOR SHALL NOT PERFORM EARTHWORK DURING INCLEMENT WEATHER.
13. THE EXISTING PAVED ROADWAYS INCLUDING SIDEWALKS AND GUTTERS SHALL BE CLEANED ON A DAILY BASIS TO BE FREE OF DEBRIS AND SEDIMENT RESULTING FROM THE GRADING OPERATIONS. FLUSHING INTO THE DRAIN STRUCTURES IS PROHIBITED.
14. STOCKPILING CONSTRUCTION MATERIAL IN THE EXISTING ROAD RIGHT-OF-WAY AREA OR ADJACENT LOT(S) ARE PROHIBITED.
15. IF ANY EXPOSED GRADED AREAS THAT ARE NOT BEING WORKED ON OR WHOSE FINAL GRADES HAVE BEEN ESTABLISHED FOR MORE THAN 14 DAYS, THE CONTRACTOR SHALL MULCH THE AREA.
16. AT THE CONCLUSION OF GRADING OPERATIONS AND PRIOR TO PROJECT COMPLETION, ALL DRAINAGE STRUCTURES WITHIN LIMITS OF DISTURBED AREA SHALL BE INSPECTED AND CLEANED OF ACCUMULATED DEBRIS AND SEDIMENT. THE ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE CATCH BASINS (FLUSHING INTO DRAIN STRUCTURES IS PROHIBITED).
17. WASH WATER SHALL NOT DRAIN INTO EXISTING CATCH BASINS.
18. DURING CONSTRUCTION, INLET PROTECTION SHALL BE APPLIED TO ALL DRAIN INLET STRUCTURES IMMEDIATELY FOLLOWING INSTALLATION.
19. THE CONTRACTOR SHALL ADHERE TO ALL OTHER REQUIREMENTS AS DETAILED IN THE STORMWATER POLLUTION PLAN (SWPPP).
20. ALL OTHER REQUIREMENTS PER NPDES FILE NO. _____

MAINTENANCE NOTE

EROSION CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

DUST CONTROL NOTE

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE MEASURES IT WILL TAKE FOR THE CONTROL OF FLUGITIVE DUST FROM THE WORK SITE. THE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION OF DUST SCREENS, WATERING OF THE SITE, FILL MATERIAL BEING PLACED, AND DELAYING WORK IN THE WEEK THAT PREVAILING WIND DIRECTION SHOULD SHIFT.

FILE: 217050-01_35_C302 EROSION CONTROL DETAILS_2019-03-08.dwg
DATE REV: 5/29/2019

DRWG. NO.
C302
SHEET 35 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
EROSION CONTROL DETAILS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

FILE POCKET FOLDER NO.

EPISCOPAL CHURCH
T.M.K. 5-2-15: 47

T.M.K. 5-2-30: 54

T.M.K. 5-2-30: 55

T.M.K. 5-2-30: 56

T.M.K. 5-2-30: 57

LEGEND

- PROPERTY LINE
- LOT LINE
- - - EASEMENT
- D18- EXISTING DRAINLINE
- W8- EXISTING WATER LINE
- S6- EXISTING SEWER LINE
- W4- NEW WATER LINE
- S6- NEW SEWER LINE

WASTEWATER DESIGN					
MAXIMUM DAILY FLOW	USERS	FLOW PER USER (GPD)	TOTAL FLOW (GPD)	MIN REQ TANK SIZE (GAL)	SEPTIC TANK DESIGN SIZE (GAL)
	200	15	3,000	3,750	4,000
FROM PERCOLATION TEST: PERCOLATION RATE = 17.1 MIN/IN → 18.0 MIN/IN					
PER HAR 11-62, APPENDIX D, TABLE III: REQ ABSORPTION AREA = (202 SF/200 GPD) x (3,000 GPD) = 3,030 SF DESIGN ABSORPTION AREA = 5,050 SF					
TRENCH WIDTH = 3 FT MAX TRENCH LENGTH = 100 FT MAXIMUM TRENCH AREA = 300 SF MINIMUM NO. OF TRENCHES = 5,050 SF/300 SF = 16.83 TRENCHES → 18 TRENCHES					

REPAIR EXISTING
CONCRETE SWALE
(BY OTHERS)

LIMIT OF DISTURBANCE

PROPOSED LEACH FIELD,
SEE DET DWG C503

NEW DISTRIBUTION BOX,
SEE DET DWG C503

NEW JENSEN PRECAST
CONCRETE SEWER SEPTIC
TANK (MODEL J24000-EE-ST),
SEE DET DWG C503

0+00 SL "A"
SMH A-1
TOP=795.64
INV=790.47

0+97.00 SL "A"
6" SEWER
LATERAL
TOP=795.90
INV=791.05
SEE DET DWG
C601

0+62.00 SL "A"
COTG A-2
TOP=796.45
INV=790.84

3+61 WL "A"
1 - 4" 1/4 BEND
1 - CONC BLOCK

3+45 WL "A"
1 - 4" 1/4 BEND
1 - CONC BLOCK

2+24.89 WL "A"
1 - 6" 1/8 BEND
1 - CONC BLOCK

0+55.73 WL "A"
1 - 6" 1/8 BEND
1 - CONC BLOCK

0+20 WL "A"
1 - 6" 1/8 BEND
1 - CONC BLOCK

1+50.00 SL "A"
COTG A-4
TOP=795.37
INV=791.37

5.5'x10' CONCRETE PAD
WITH 4" Ø @ 3' o.c.
FOR LP TANK
SEE MECH DWGS

1+50.00 SL "A"
(o/s 33.0'± RT.)
COTG A-5
TOP=795.80
INV=792.03
SEE MECH DWGS
FOR CONTINUATION

0+97.00 SL "A"
(o/s 41.0'± RT.)
COTG A-3
TOP=796.49
INV=791.87
SEE MECH DWGS
FOR CONTINUATION

4+16 WL "A"
NEW FH CONN
1 - 6" CV
1 - VALVE BOX
1 - FH (HT=4'-0")
1 - FH EXTENSION
PIECE
1 - CONC BLOCK
SEE DWS STD
DETAIL FH-6

3/4" HOSE BIB
(5), TYP.

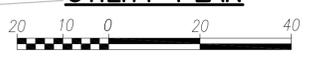
TYPE "A" SERVICE LATERAL
SEE BWS STD DETAILS
L23, L24, L25 AND L26

3+91 WL "A"
1 - 4" 1/4 BEND
1 - CONC BLOCK

0+00 WL "A"
CONNECT TO EXIST 6" WL
SEE SCHEMATIC
CONNECTION DIAGRAM ON
DWG C601

EXIST ELEC POLE
AND GUY WIRE
TO REMAIN

UTILITY PLAN



DWG. NO.
C500
SHEET 36 OF 57

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
**HOOLEHUA VETERAN AND
HOMESTEAD RESIDENT'S CENTER**
RFP-19-HHL-007

UTILITY PLAN

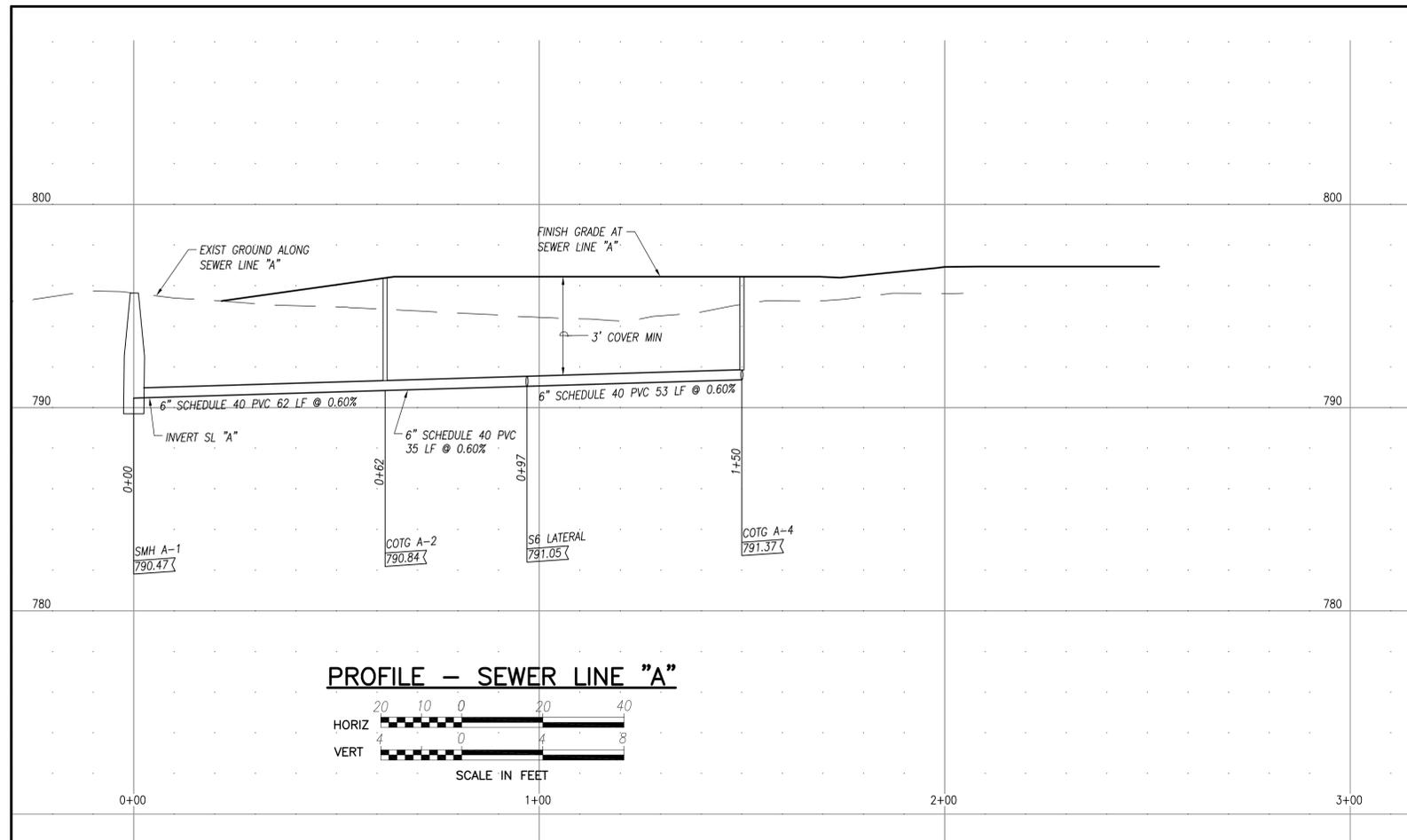
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

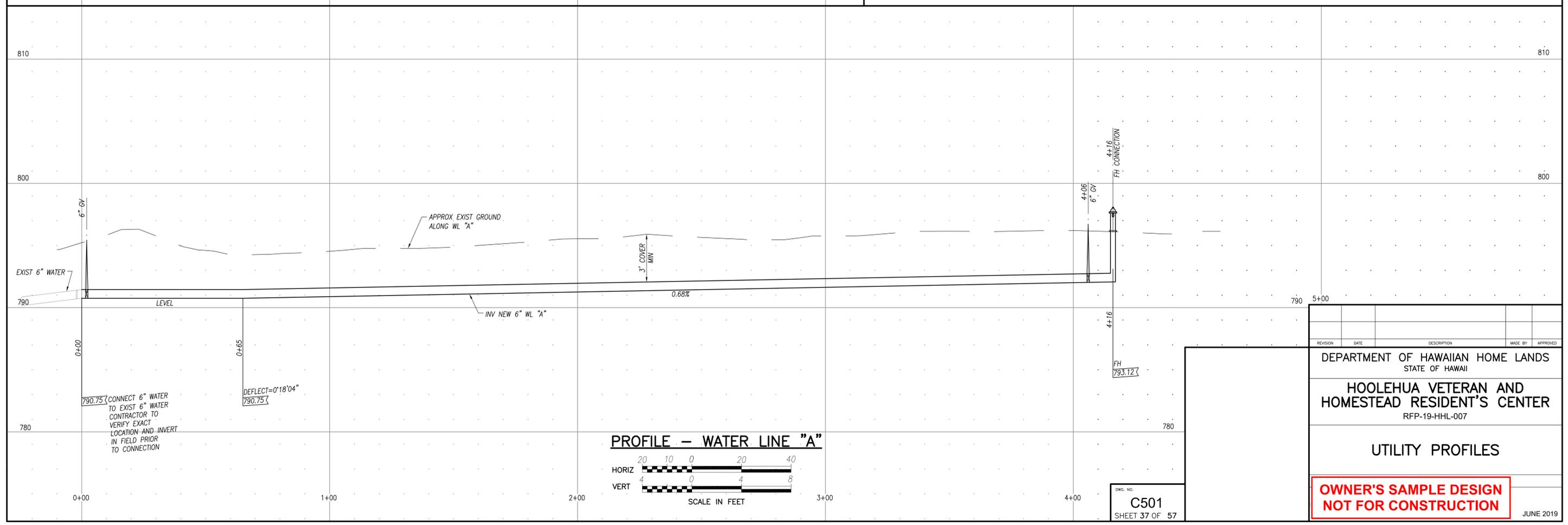
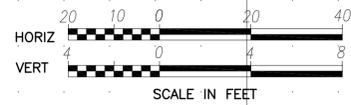
FILE: 217050-01_36_C500 UTILITY PLAN_2019-03-08.dwg
DATE REV: 5/29/2019

FILE	POCKET	FOLDER	NO.

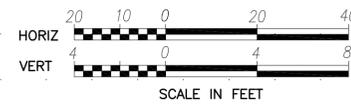
FILE: 217050-01_37_C501 UTILITY PROFILES_2019-03-08.dwg
 DATE REV: 6/03/2019



PROFILE - SEWER LINE "A"



PROFILE - WATER LINE "A"



REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

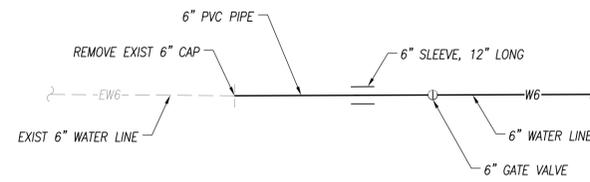
DEPARTMENT OF HAWAIIAN HOME LANDS
 STATE OF HAWAII
**HOOLEHUA VETERAN AND
 HOMESTEAD RESIDENT'S CENTER**
 RFP-19-HHL-007

UTILITY PROFILES

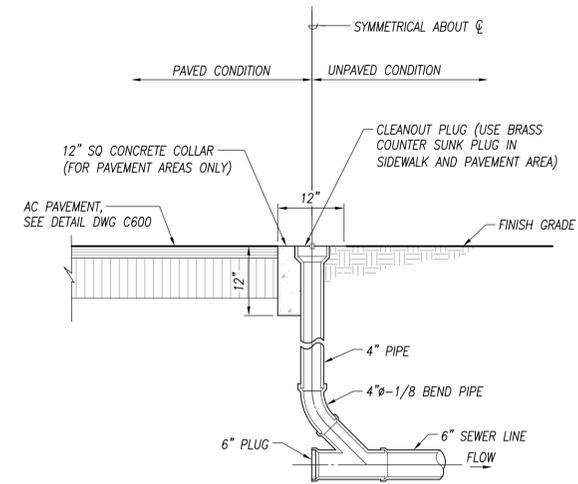
**OWNER'S SAMPLE DESIGN
 NOT FOR CONSTRUCTION**

JUNE 2019

DWG. NO.
C501
 SHEET 37 OF 57



WATER LINE "A"
SCHEMATIC CONNECTION DIAGRAM
 NOT TO SCALE



NOTES:

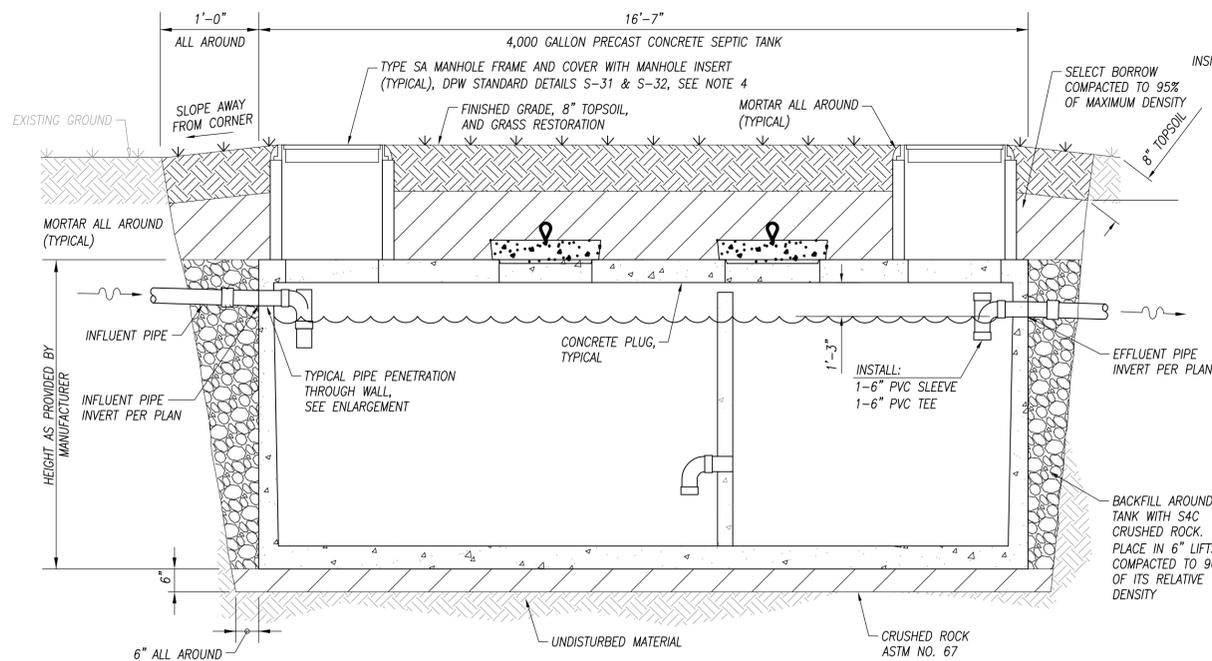
1. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION SHALL BE PURSUANT TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
2. SEWER PIPES AND APPURTENANCES SHALL BE PURSUANT TO "SECTION 20 - CAST IRON AND DUCTILE IRON SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.
3. FOR SEWER PIPES AND APPURTENANCES 15 INCHES AND LARGER, PIPE MATERIALS SHALL BE PURSUANT TO "SECTION 19 - REINFORCED CONCRETE SEWER PIPE AND APPURTENANCES" OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPTEMBER 1986 AND ITS REVISIONS.

SEWER CLEANOUT-TO-GRADE
 NOT TO SCALE

FILE: 217050-01_38_C502 UTILITY DETAILS_2019-03-08.dwg
 DATE REV: 5/30/2019

DWG. NO.
C502
 SHEET 38 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007 UTILITY DETAILS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				JUNE 2019



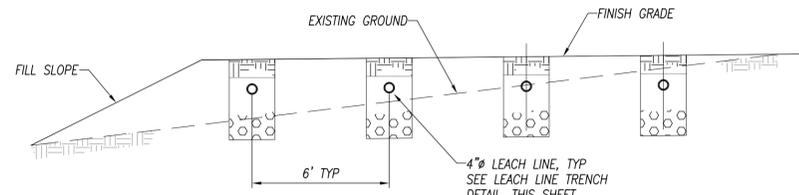
SEPTIC TANK (CONCRETE)
NOT TO SCALE

NOTES:

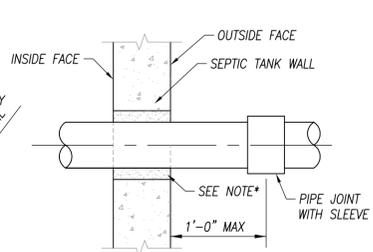
- CIRCULAR SECTION REBAR SHALL CONSIST OF #3 VERTICAL BARS @ 12" O.C., #3 HORIZONTAL BARS @ 18" O.C. AND A WIRE MESH AROUND ENTIRE CIRCUMFERENCE.
- REBAR SPACING ON COVER AND BOTTOM SHALL CONSIST OF #4 BARS @ 8" O.C. BOTH WAYS WITH TIES AT EACH CROSSING, AND 1 1/2" CLEAR FROM BOTTOM.
- SUBSTITUTIONS OF OTHER TANKS ARE ACCEPTABLE AS LONG AS MINIMUM VOLUME REQUIREMENTS ARE MET. CONTRACTOR SHALL SUBMIT TANK DRAWINGS TO ENGINEER FOR APPROVAL FOR FIBERGLASS SUBSTITUTES. MANUFACTURER SHALL PROVIDE ANCHOR PACKAGE, OR EQUAL, TO ACCOMMODATE BUOYANCY FORCES. NO SUBSTITUTIONS USING FIBERGLASS SYSTEMS SHALL BE AUTHORIZED BY THE ENGINEER WITHOUT MANUFACTURER'S STATEMENT WITH RESPECT TO BUOYANCY.
- SEPTIC TANK SHALL BE LOCATED IN A NON-VEHICULAR TRAFFIC AREA IF POSSIBLE. FOR TANKS LOCATED IN TRAFFIC AREAS, MANUFACTURER SHALL PROVIDE APPROPRIATE LOAD BEARING COVERS.
- WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE SEPTIC TANK SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62, SECTION 33.1(A).
- MANUFACTURER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE SEPTIC TANK.

OPERATION AND MAINTENANCE INSTRUCTIONS FOR SEPTIC TANKS:

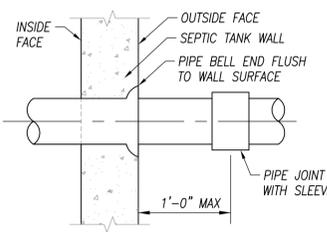
- SEPTIC TANKS SHALL BE INSPECTED ON A YEARLY BASIS BY OPENING THE ACCESS COVER AND CHECKING IF EITHER THE SLUDGE OR SCUM ARE NEAR THE OUTLET PIPE.
- THE SEPTIC TANK SHALL BE CLEANED OUT IF EITHER:
 - THE BOTTOM OF THE FLOATING SCUM MAT IS WITHIN THREE INCHES OF THE BOTTOM OF THE OUTLET PIPE; OR
 - SLUDGE COMES WITHIN SIX INCHES OF THE BOTTOM OF THE OUTLET PIPE.
- CLEANING THE SEPTIC TANK SHALL CONSIST OF PUMPING OF THE CONTENTS INTO A TANK TRUCK AND HAULING IT TO A STATE HEALTH DEPARTMENT APPROVED POINT OF DISPOSAL. THE SEPTIC TANK SHALL NOT BE WASHED OR DISINFECTED AFTER PUMPING. A THREE INCH DEPTH OF RESIDUAL SLUDGE SHALL BE LEFT IN THE TANK FOR SEEDING PURPOSES.
- A SEPTIC TANK SHALL NOT BE ENTERED BY ANYONE UNLESS PROPER SAFETY PROCEDURES ARE FOLLOWED. THERE IS A POTENTIAL HAZARD OF EXPLOSION OF GASES AND/OR ASPHYXIATION OF PERSONNEL IF PRECAUTIONS ARE NOT TAKEN.
- CHEMICALS OR DISINFECTANTS DO NOT IMPROVE OPERATION OF SEPTIC TANKS AND ARE NOT RECOMMENDED. ORDINARY CHEMICALS USED IN THE HOUSEHOLD IN SMALL QUANTITIES WILL NOT ADVERSELY AFFECT THE OPERATION OF THE SEPTIC TANK.
- PAPER TOWELS, NEWSPAPER, WRAPPING PAPER, RAGS AND STICKS SHOULD NOT BE FLUSHED INTO THE SEPTIC TANK. THEY WILL NOT DECOMPOSE AND WILL LEAD TO CLOGGING OF THE PIPING.
- IMPROPER OPERATION AND MAINTENANCE OF THE SEPTIC TANK WILL LEAD TO EARLY FAILURE OF THE DISPOSAL SYSTEM (SEEPAGE PITS AND/OR LEACH LINES) BY CLOGGING THE PIPING ADJACENT SOIL. THIS WILL RESULT IN SEPTIC TANK OVERFLOWS AND DISPOSAL SYSTEM FLOODING. COMPLETE REPLACEMENT OF THE DISPOSAL SYSTEM IS THEN REQUIRED.



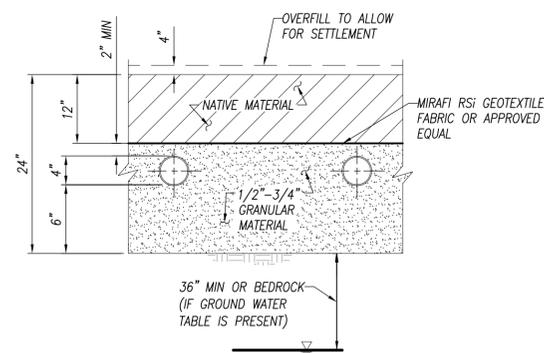
TYPICAL LEACH FIELD GRADING (FILL CONDITION)
NOT TO SCALE



OPTION NO. 1: FIELD INSTALL
NOT TO SCALE



OPTION NO. 2: CAST-IN-PLACE
NOT TO SCALE



SECTION

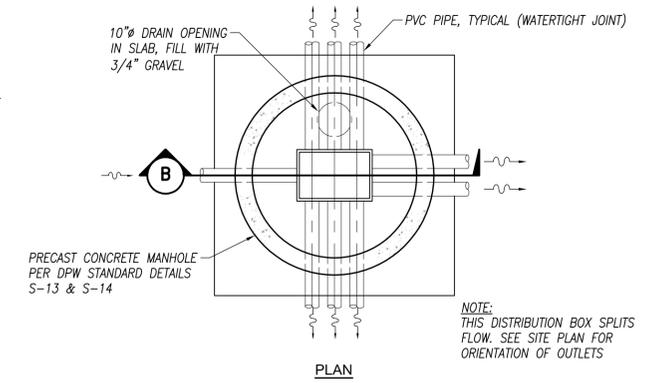
NOTES:

- MAINTAIN 10'-0" MINIMUM CLEARANCE FROM ALL LARGE TREES.
- GEOTEXTILE FILTER FABRIC SHALL BE WOVEN OR NON-WOVEN THERMOPLASTIC FIBER WITH MINIMUM WEIGHT OF 135 GRAMS PER SQUARE METER.

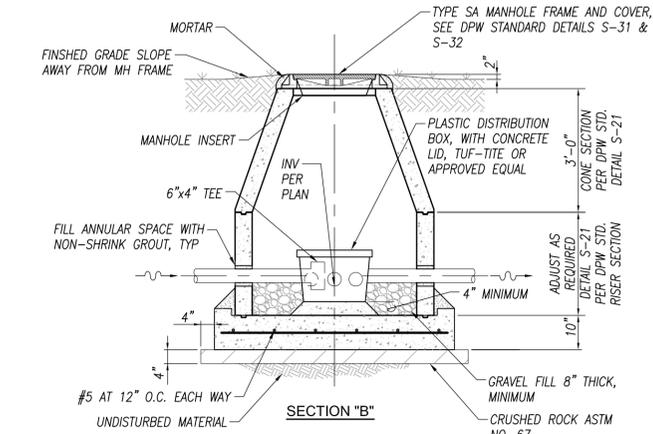
CONSTRUCTION NOTES:

- MAXIMUM LENGTH OF EACH DISTRIBUTION LINE SHALL BE 100 FEET.
- DISTRIBUTION LINES SHALL BE UNIFORMLY SPACED A MINIMUM OF 4 FEET AND A MAXIMUM OF 6 FEET APART. DISTRIBUTION LINES SHALL BE PLACED A MINIMUM OF 1 1/2 FEET AND A MAXIMUM OF 3 FEET FROM THE SIDE OF THE BED.
- DISTRIBUTION LINES SHALL BE LEVEL.
- THE FLOOR OF THE ABSORPTION BED SHALL BE LEVEL.
- WHERE NOT OTHERWISE SPECIFIED, THE CONSTRUCTION OF THE ABSORPTION BED SHALL CONFORM TO HAWAII ADMINISTRATIVE RULES, TITLE II, CHAPTER 62.

ABSORPTION BED
NOT TO SCALE



PLAN



DISTRIBUTION BOX III DETAIL

NOTE:

- INSTALL LEVELER AT EACH OUTLET PIPE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

FINAL INSPECTION NOTES:

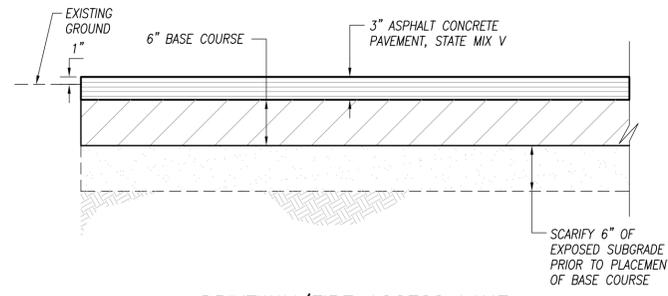
- IF THE DEPARTMENT OF HEALTH WAIVES THE FINAL INSPECTION REQUIREMENT THE OWNER/CONTRACTOR SHALL CONTACT THE ENGINEER FOR FINAL INSPECTION. AS PART OF THE FINAL INSPECTION, THE FOLLOWING PARTS OF THE SYSTEM SHALL BE KEPT OPEN.
 - DISTRIBUTION BOXES TO THE DISPOSAL SYSTEM;
 - THE ENDS OF THE ABSORPTION TRENCHES SUCH THAT THE GRAVEL, PIPING AND FILTER FABRIC ARE EXPOSED; AND
 - INSPECTION PORTS OF THE SEPTIC TANK. IF THE ABOVE ITEMS ARE NOT OPEN AT THE TIME OF INSPECTION, WE MAY REQUIRE THAT YOU DIG OR RE-EXPOSE THE ITEMS FOR INSPECTION. FURTHER, THE CONTRACTOR/OWNER SHALL CONTACT THE ENGINEER AT 521-0306 IN ORDER TO MAKE NECESSARY ARRANGEMENTS FOR FINAL INSPECTION.
- IF THERE ARE ANY CHANGES TO THE ORIGINALLY APPROVED SYSTEM, OWNER/CONTRACTOR SHALL INFORM AND OBTAIN CONCURRENCE FROM THE ENGINEER. SUCH CHANGES THAT REQUIRE THE ENGINEER'S CONCURRENCE INCLUDE, BUT NOT LIMITED TO CHANGES IN WASTEWATER TREATMENT UNIT OR DISPOSAL SYSTEM LOCATION, MATERIALS ORIGINALLY SPECIFIED FOR IN THE TREATMENT UNITS OR DISPOSAL SYSTEM AND CHANGES IN BRAND NAMES OF PRODUCTS ORIGINALLY SPECIFIED. SOME CHANGES MAY ALSO REQUIRE A REAPPROVAL FROM THE HEALTH DEPARTMENT.
- THE PLANS FOR THE IWS SHALL BE APPROVED BY THE DEPARTMENT OF HEALTH BEFORE CONSTRUCTION. THE DEPARTMENT OF HEALTH WILL ISSUE A LETTER APPROVING THE SYSTEM. THE CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVAL LETTER FROM THE OWNER OR THE ENGINEER AND COMPLY WITH ALL CONDITIONS RELATED TO IWS CONSTRUCTION.

FILE: 217050-01_39_C503 UTILITY DETAILS_2019-03-08.dwg
DATE REV: 5/30/2019

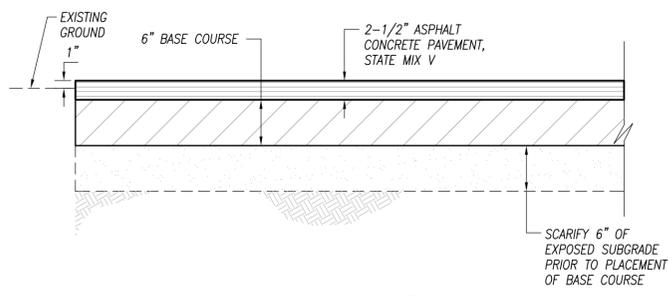
DWG. NO.
C503
SHEET 39 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
UTILITY DETAILS 2				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

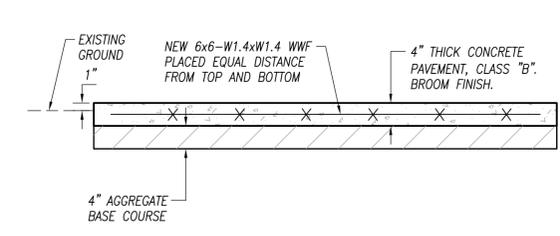
FILE POCKET FOLDER NO.



DRIVEWAY/FIRE ACCESS LANE



PARKING LOT

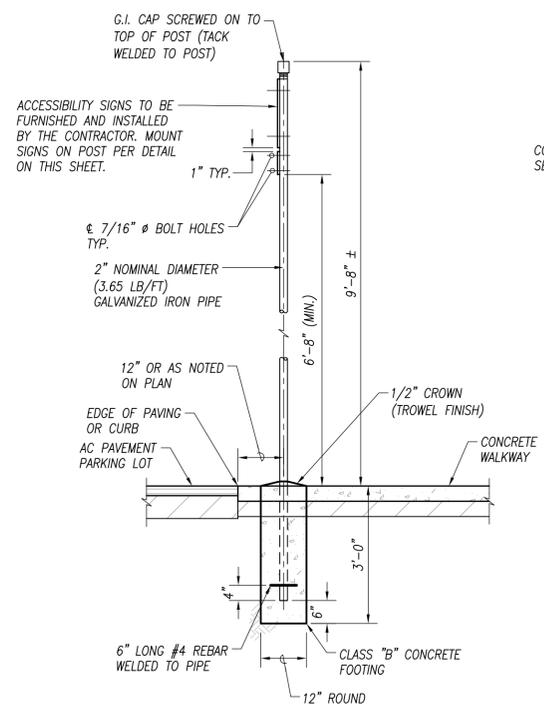


CONCRETE WALKWAY
NOT TO SCALE

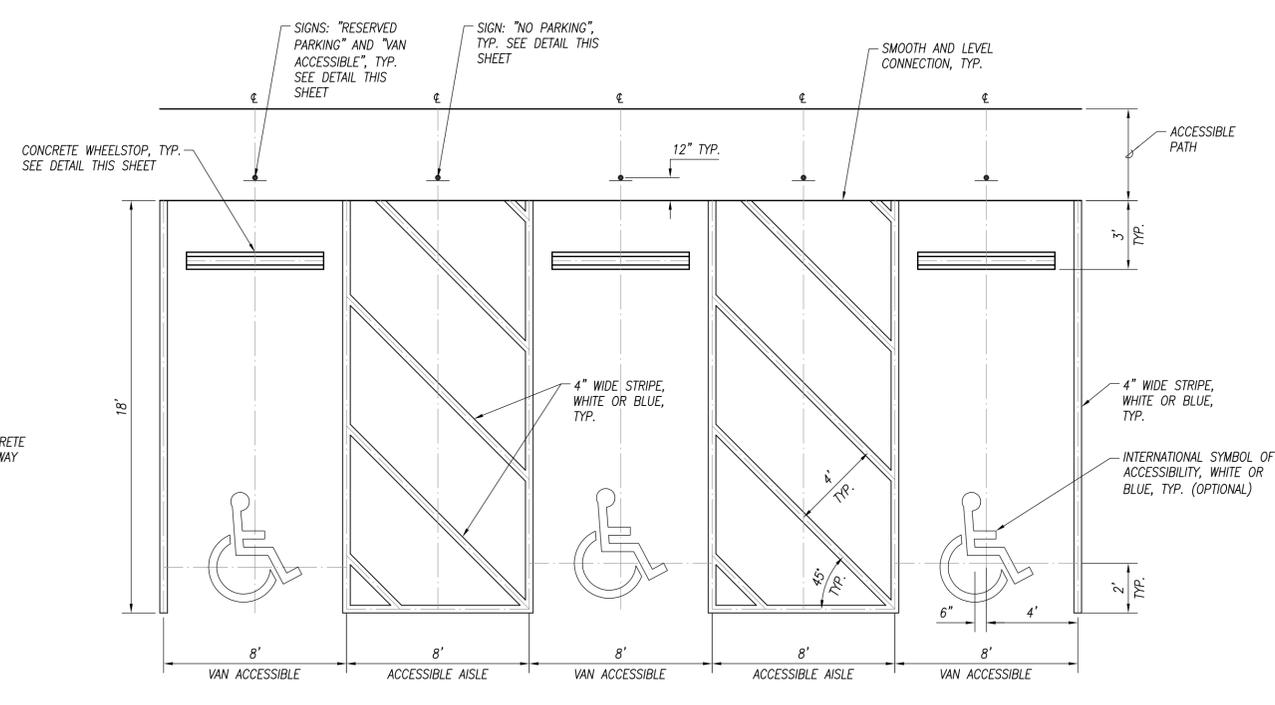
NOTES:
1. REFER TO GEOTECHNICAL INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018 FOR SOIL CONDITIONING AND COMPACTION REQUIREMENTS.

NOTES:
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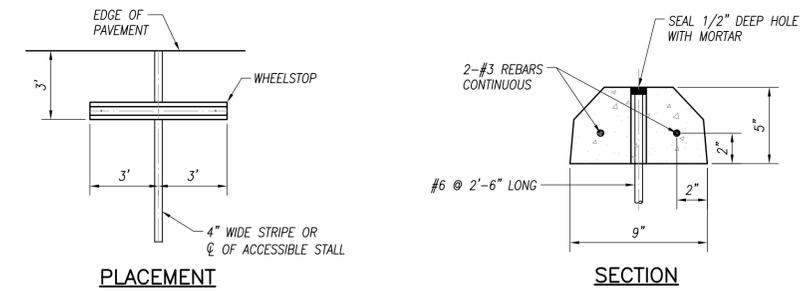
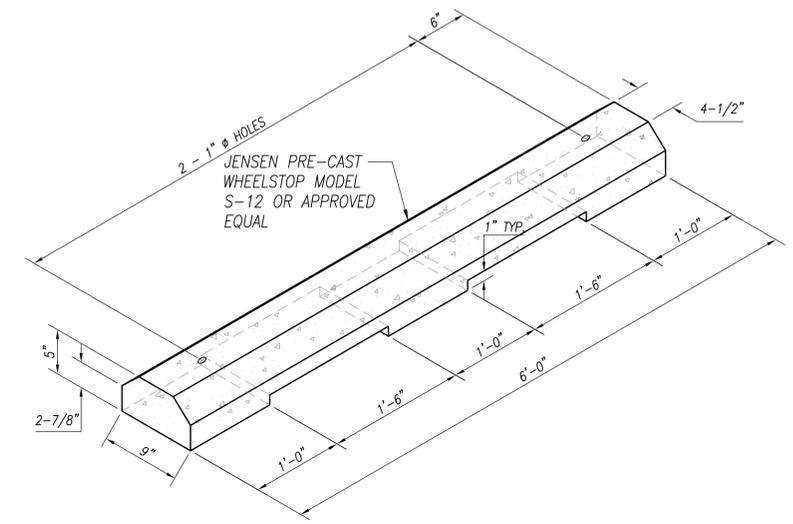
ASPHALT CONCRETE PAVEMENT
NOT TO SCALE



SIGN POST DETAIL

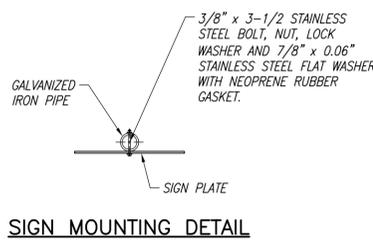


ACCESSIBLE PARKING SPACE MARKING

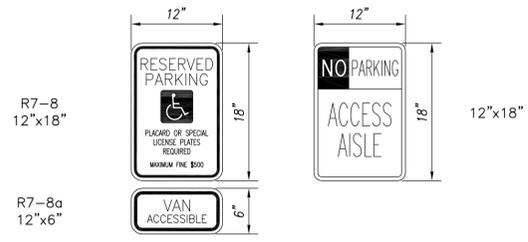


PRE-CAST CONCRETE WHEELSTOP
NOT TO SCALE

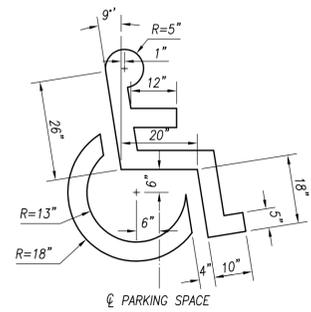
NOTES:
1. REFER TO THE 2009 MUTCD, SECTION 2B.46.
2. REFER TO "HOW TO DESIGN AN ACCESSIBLE PARKING SPACE", FEDERAL AND STATE OF HAWAII REQUIREMENTS COMBINED, BY THE DISABILITY AND COMMUNICATION ACCESS BOARD, DATED DECEMBER 2012.
3. THE SURFACE WITHIN THE ACCESSIBLE PARKING SPACE AND ACCESS AISLE SHALL BE VIRTUALLY LEVEL (1:48 MAX. SLOPE) IN ALL DIRECTIONS.



SIGN MOUNTING DETAIL



SIGNS



INTERNATIONAL SYMBOL OF ACCESSIBILITY

TYPICAL DETAILS FOR ACCESSIBLE PARKING SPACE
NOT TO SCALE

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERAN AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
MISCELLANEOUS DETAILS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

DRG. NO.
C600
SHEET 40 OF 57

FILE: 217050-01_40_C600 MISCELLANEOUS DETAILS_2019-04-25.dwg
DATE REV: 5/30/2019

FILE POCKET FOLDER NO.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE BUILDING CODE OF THE MAUI COUNTY (LATEST).
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- THE GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY UNLESS OTHERWISE SHOWN.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW BY THE ENGINEER.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF THE JOB AND NOTIFY ALL DISCREPANCIES TO THE ARCHITECT.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING AND THE PROTECTION OF ADJACENT PROPERTIES, STRUCTURES, STREETS AND UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
- ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA.
- THE CONTRACTOR SHALL NOTIFY TANIMURA & ASSOCIATES (PH. 536-1692) TWO (2) WORKING DAYS PRIOR TO BEGINNING ANY WORK WHICH WILL CONCEAL STRUCTURAL ELEMENT SUCH AS POURING CONCRETE (CONCEALING REINFORCING) OR SHEATHING WALLS (CONCEALING HOLD DOWN ANCHORS).

FOUNDATION

- THE FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS IN THE FOUNDATION INVESTIGATION REPORT BY HIRATA & ASSOCIATES, INC. DATED JANUARY 23, 2018. UNLESS OTHERWISE INDICATED FOUNDATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS REPORT. THE REPORT IS PART OF THIS PLAN AND SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
- MODULAR BUILDING FOUNDATION SHALL BEAR DIRECTLY ON THE UNDISTURBED CLAYEY SILT. ALL CAST IN PLACE CONCRETE FOOTINGS SHALL BE BOTTOMED A MINIMUM OF 12" BELOW THE LOWEST ADJACENT EXTERIOR GRADE. THE BOTTOM OF ALL FOOTING EXCAVATIONS SHALL BE COMPACTED, OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL OR CONCRETE.
- SUBGRADE BELOW SLABS ON GRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES, MOISTURE CONDITIONED TO ABOUT TWO PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO A MINIMUM 90 PERCENT COMPACTION AS DETERMINED BY ASTM D1557.
- ALL WATER, MUD AND DEBRIS SHALL BE REMOVED FROM THE BOTTOM OF FOOTING EXCAVATIONS. THE BOTTOM OF FOOTING EXCAVATIONS SHALL BE THOROUGHLY TAMPED PRIOR TO THE PLACEMENT OF REINFORCING STEEL AND CONCRETE.
- CONTRACTOR SHALL NOTIFY HIRATA & ASSOCIATES 4 WORKING DAYS PRIOR TO BEGINNING ANY FOUNDATION WORK (BOTTOM OF FOOTING, STRUCTURAL FILL, ETC.).

REINFORCED CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318-02.
 - ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF) WITH AGGREGATES CONFORMING TO ASTM C-33. UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTHS OF CONCRETE AT 28 DAYS AND MAXIMUM AGGREGATE SIZES SHALL BE AS FOLLOWS:
- | | STRENGTH | AGGREGATE SIZE |
|-------------------------|----------|----------------|
| FOOTING & SLAB ON GRADE | 2500 PSI | 3/4" |
| OTHERS | 2500 PSI | 3/4" |
- MAXIMUM WATER-CEMENT RATIO SHALL NOT EXCEED 0.55.
 - ALL REINFORCING STEEL EXCEPT TIES AND STIRRUPS SHALL CONFORM TO ASTM A615 GRADE 60. TIES, STIRRUPS AND REBARS TO BE WELDED SHALL BE ASTM A615 GRADE 40.

- UNLESS OTHERWISE NOTED, SPLICES, LAPS, DOVEL EXTENSIONS AND EMBEDMENTS SHALL BE 40 BAR DIAMETERS BUT NOT LESS THAN 24" MINIMUM.
 - ALL REINFORCING BARS MARKED CONTINUOUS (CONT.) ON THE PLANS SHALL BE LAPPED 45 BAR DIAMETERS MINIMUM. BUT NOT LESS THAN 2'-0".
 - STAGGER ALL SPLICES WHERE POSSIBLE.
 - ALL WELDING OF REINFORCING SHALL CONFORM TO 'STRUCTURAL WELDING CODE - REINFORCING STEEL' (AWS D1.4).
 - REBARS SHALL BE SUPPORTED, BENT AND PLACED AS PER 'MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES' ACI 315 (LATEST).
 - MINIMUM COVER IN INCHES FOR REBARS FOR CAST-IN-PLACE CONCRETE:
- | | |
|--|--------|
| CONCRETE CAST AGAINST EARTH | 3" |
| FORMED CONCRETE EXPOSED TO EARTH OR WEATHER: | |
| #5 AND SMALLER | 1-1/2" |
| #6 AND LARGER | 2" |
| CONCRETE NOT EXPOSED TO EARTH OR WEATHER: | |
| SLABS, WALLS, AND JOISTS | 3/4" |
| BEAMS AND COLUMNS | 1-1/2" |
- WELDED WIRE FABRIC SHALL BE GALVANIZED AND CONFORM TO ASTM A-105.
 - UNLESS OTHERWISE SHOWN LAP OUTERMOST CROSS WIRES OF EACH SHEET OF WELDED WIRE FABRIC ONE SPACING OF CROSS WIRES PLUS 2" MINIMUM.
 - AT TIME CONCRETE IS PLACED, REINFORCING SHALL BE FREE FROM MUD, OIL, LAITANCE OR OTHER COATINGS ADVERSELY AFFECTING BOND CAPACITY.
 - REINFORCEMENT, ANCHOR BOLTS, SIMPSON CONNECTORS, DOVELS AND ALL OTHER EMBEDDED ITEMS SHALL BE POSITIVELY SECURED BEFORE POURING.

WOOD

- ALL WOOD STRUCTURAL MEMBERS SHALL BE DOUGLAS FIR MEETING THE FOLLOWING MINIMUM GRADES AS ESTABLISHED BY THE WESTERN WOOD PRODUCTS ASSOCIATIONS:
- | | |
|-------------------------|-----------------------|
| 6x & 4x BEAMS AND POSTS | NO. 1 OR BETTER |
| 2x RAFTERS | NO. 2 OR BETTER |
| 2x EXTERIOR STUDS | NO. 1 OR CONSTRUCTION |
- WOOD SHALL BE SEPARATED FROM DIRECT CONTACT WITH CONCRETE AND MASONRY WITH A LAYER OF 30# FELT.
 - PROVIDE STANDARD WASHERS AT ALL BOLTS AND NUTS BEARING ON WOOD.
 - NOTCHING OF JOISTS SHALL BE LIMITED TO CUT OR BORED HOLES NOT DEEPER THAN 1/3 THE JOIST DEPTH FROM THE TOP AND LOCATED NOT FURTHER FROM THE END THAN 3 TIMES THE JOIST DEPTH. HOLES THROUGH PLATES AND STUDS SHALL BE CENTERED IN THE MEMBER AND NOT EXCEED 1/3 THE PLATE WIDTH.
 - ALL PREFABRICATED METAL HANGERS AND CONNECTORS NOTED IN THE DRAWINGS ARE 'SIMPSON STRONG TIE CONNECTORS' WITH 'Z-MAX' COATING.
 - MINIMUM NAILING SHALL COMPLY WITH TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE AND THE NAILING SCHEDULE BELOW. WHERE CONFLICTS OCCUR THE MORE SEVERE SHALL GOVERN.
 - ALL WOOD STRUCTURAL MEMBERS SHALL BE TREATED WITH AN APPROVED PROCESS AGAINST ROT AND INSECT DAMAGE.

NAILING

- ALL NAILS FOR STRUCTURAL FRAMING SHALL BE GALVANIZED COMMON WIRE NAILS UNLESS OTHERWISE NOTED.
 - PREDRILL HOLES AS REQUIRED TO PREVENT SPLITTING.
 - SINKING OF NAIL HEADS IS PROHIBITED.
 - UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM NAILING SHALL APPLY:
- | | |
|---|----------------|
| JOIST OR RAFTER AT BEARING (TOE NAIL) | 3-10d |
| STUDS TO PLATE (TOE NAIL) | 3-8d |
| END NAIL THRU PLATE | 2-16d |
| DOUBLE TO PLATE - TYPICAL | 16d @ 16" o.c. |
| EACH SIDE OF SPLICE | 6-16d |
| AT CORNERS | 2-16d |
| BUILT-UP AND CORNER STUDS | 16d @ 24" o.c. |
| BLOCKING (TOE NAIL) | 3-10d |
| END NAIL | 2-16d |
| CEILING JOIST OVER PARTITION (TOE NAIL) | 3-16d |
| CEILING JOIST TO PARALLEL RAFTER | |
| FACE NAIL | 3-16d |
| RIM JOIST OR BLOCKING TO TOP PLATE | 16d @ 16" o.c. |

MODULAR BUILDING

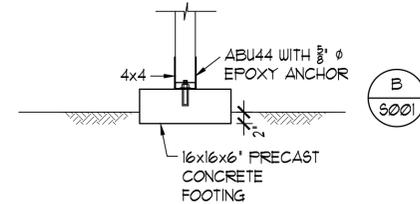
- ALL WORK SHALL CONFORM TO THE 2006 INTERNATIONAL BUILDING CODE, ASCE 7-05 AND CRITERIA NOTED HEREIN OR IN THE OTHER CONTRACT DOCUMENTS.
- SHOP DRAWINGS, CALCULATIONS AND OTHER SUBMITTALS SHALL BE SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF HAWAII AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- PROVIDE AND INSTALL ANCHOR BOLT STEEL TEMPLATES FOR COLUMN ANCHOR BOLTS PRIOR TO CONCRETE POUR.
- WHEN COMPUTING WIND UPLIFT, THE ACTUAL DEAD LOAD SHALL BE USED WHEN IT IS LESS THAN THE SPECIFIED DEAD LOAD.
- A MINIMUM OF 1" OF NON-SHRINK LEVELING GROUT SHALL BE USED UNDER ALL COLUMN BASE PLATES. BUILDING MANUFACTURER SHALL ENSURE THAT ANCHOR BOLT PROJECTION ABOVE THE SLAB ACCOUNTS FOR THE GROUT.
- MODULAR BUILDING FOOTINGS ARE SHOWN FOR COMPLETENESS. THE FOOTING LOCATIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED WITH THE MODULAR BUILDINGS DRAWINGS. THE FOOTING LENGTH, WIDTH, THICKNESS, REINFORCING AND ANCHOR BOLT EMBEDMENT WILL BE DESIGNED BY THE STRUCTURAL ENGINEER OF RECORD AFTER THE MODULAR BUILDING DESIGNER SUBMITS THE COLUMN AND WALL REACTIONS FOR REVIEW AND APPROVAL. COLUMN AND WALL REACTIONS SHALL BE LISTED BY LOAD CASE, USING UNFACTORED LOADS. MAXIMUM VERTICAL AND HORIZONTAL REACTIONS SHALL BE CLEARLY NOTED. THE CONTRACTOR SHALL TREAT THE FOOTING DESIGN AS A VARIABLE QUANTITY BECAUSE THE FOOTING SIZES AND REINFORCING MAY CHANGE FROM WHAT IS SHOWN.
- THE MODULAR BUILDING DESIGNER SHALL BE RESPONSIBLE FOR DESIGNING THE SUPER STRUCTURE (RAFTERS, BEAMS, STUDS, COLUMNS, DIAPHRAGMS, SHEAR WALLS, AND DRAG STRUTS, ETC.) ABOVE THE FOUNDATION IN ADDITION TO THE SIZE AND QUANTITY OF ALL ANCHOR BOLTS. THE MODULAR BUILDING DESIGNER SHALL BE HIRED AND PAID FOR BY THE CONTRACTOR. THE COST OF THE WORK FOR THE MODULAR BUILDING DESIGN SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

DESIGN CRITERIA

- CODES: 2006 INTERNATIONAL BUILDING CODE. MODULAR BUILDINGS SHALL BE DESIGNED ACCORDING TO THESE VALUES.
 - FOUNDATION DESIGN CRITERIA
- | | |
|-------------------------|----------|
| ALLOWABLE BEARING | 3000 PCF |
| PASSIVE RESISTANCE | 300 PCF |
| COEFFICIENT OF FRICTION | 0.4 |
- SEISMIC LATERAL FORCES
- | | |
|---------------------------|-------|
| SITE CLASS | D |
| OCCUPANCY CATEGORY | II |
| SEISMIC DESIGN CATEGORY | D |
| SEISMIC IMPORTANCE FACTOR | 1.0 |
| MAPPED SPECTRAL RESPONSE | |
| S _s | 0.792 |
| S ₁ | 0.209 |
| S _{D5} | 0.623 |
| S _{D1} | 0.215 |
- | | |
|-----------------------------------|---------|
| WIND | |
| BASIC WIND SPEED (3 SECOND GUST) | 105 MPH |
| WIND IMPORTANCE FACTOR I | 1.0 |
| WIND EXPOSURE | C |
| K _z TOPOGRAPHIC FACTOR | 1.1 |
| K _d | 0.80 |
- LIVE LOADS
- | | |
|-------------------------|--------|
| ROOF | 20 PSF |
| OFFICE | 50 PSF |
| PARTITION LOAD (OFFICE) | 15 PSF |
| DECK | 50 PSF |

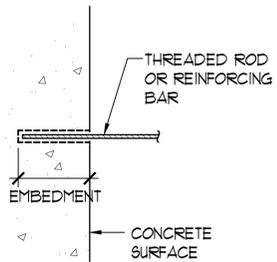
SPECIAL INSPECTION

- ITEMS REQUIRING SPECIAL INSPECTION:
 - REINFORCING STEEL (PERIODIC)
 - COMPLETE LOAD PATH AND UPLIFT TIES
- NOTIFY SPECIAL INSPECTOR 4 WORKING DAYS PRIOR TO NEED OF INSPECTION SERVICES. WORK SHALL NOT PROCEED UNTIL SPECIAL INSPECTION HAS BEEN COMPLETED. CONTRACTOR SHALL CORRECT DEFECTIVE WORK AT NO ADDITIONAL COST TO THE OWNER AND PAY COST FOR RE-INSPECTION.
- CONCRETE DESIGNED USING f'_c=2500 PSI. SPECIAL INSPECTION NOT REQUIRED.
- SPECIAL INSPECTOR IS REQUIRED TO BE CERTIFIED WITH THE INTERNATIONAL CODE COUNCIL AND DOES NOT HAVE TO BE A LICENSED STRUCTURAL ENGINEER.



TYPICAL EXTERIOR FOOTING (F1)

SC: 3/4"=1'-0"



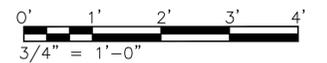
THREADED ROD (REBAR)	DRILL BIT DIAMETER	MINIMUM EMBEDMENT
1/2" (#4)	5/8"	4"
5/8" (#5)	3/4"	6"
3/4" (#6)	7/8"	7"
7/8" (#7)	1"	8"

NOTES:

- PRE APPROVAL FOR SIMPSON STRONG TIE SET-XP EPOXY TIE ADHESIVE. ALL SUBSTITUTION REQUEST SHALL BE SUBMITTED WITH CURRENT ICC-ES REPORT TO ENGINEER FOR REVIEW AND APPROVAL.
- ALL THREAD ROD SHALL BE CARBON STEEL CONFORMING TO ASTM F1554, GRADE 36 HOT DIP GALVANIZED. REINFORCING BAR SHALL BE ASTM A615 GRADE 60.
- PRE DRILL HOLE WITH DRILL BIT COMPLYING WITH ANSI B212.15-1994.
- CLEAN HOLE WITH OIL FREE COMPRESSED AIR (80 PSI MINIMUM) AND NYLON BRUSH.
- FILL HOLE HALF TO TWO THIRDS FULL WITH ADHESIVE STARTING FROM BOTTOM, THEN INSERT ANCHOR TO BOTTOM OF HOLE AND TWIST CLOCKWISE TO ENSURE ADHESIVE COVERS THE ANCHOR SURFACE. ADHESIVE MUST BE LEVEL WITH CONCRETE SURFACE AFTER INSERTION OF ANCHOR.
- ANCHOR INSTALLATION REQUIRES SPECIAL INSPECTION.

EPOXY ANCHOR DETAIL

NO SCALE



REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

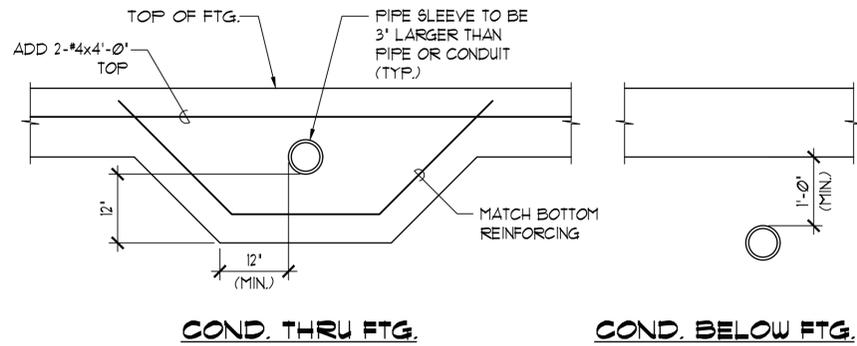
DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

HOOLEHUA VETERANS AND
HOMESTEAD RESIDENT'S CENTER
RFP-19-HHL-007

GENERAL NOTES

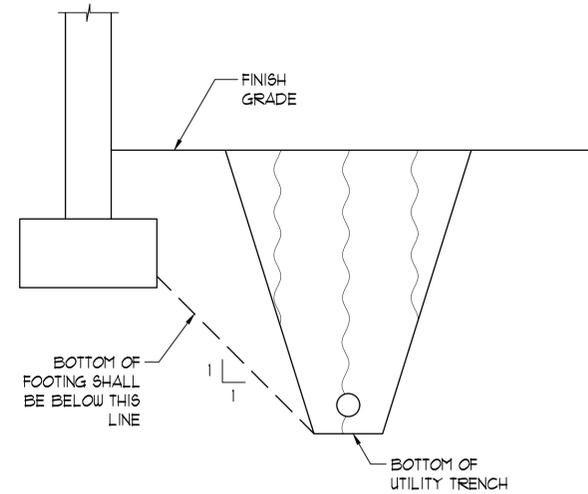
**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019



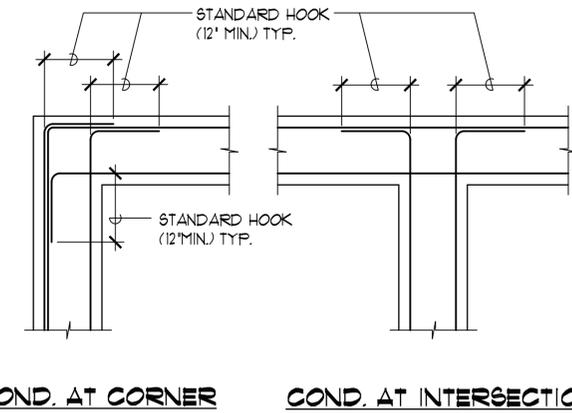
TYPICAL PIPES & CONDUITS AT FOOTING DETAIL
 SC: 3/4" = 1'-0"

A
 S101



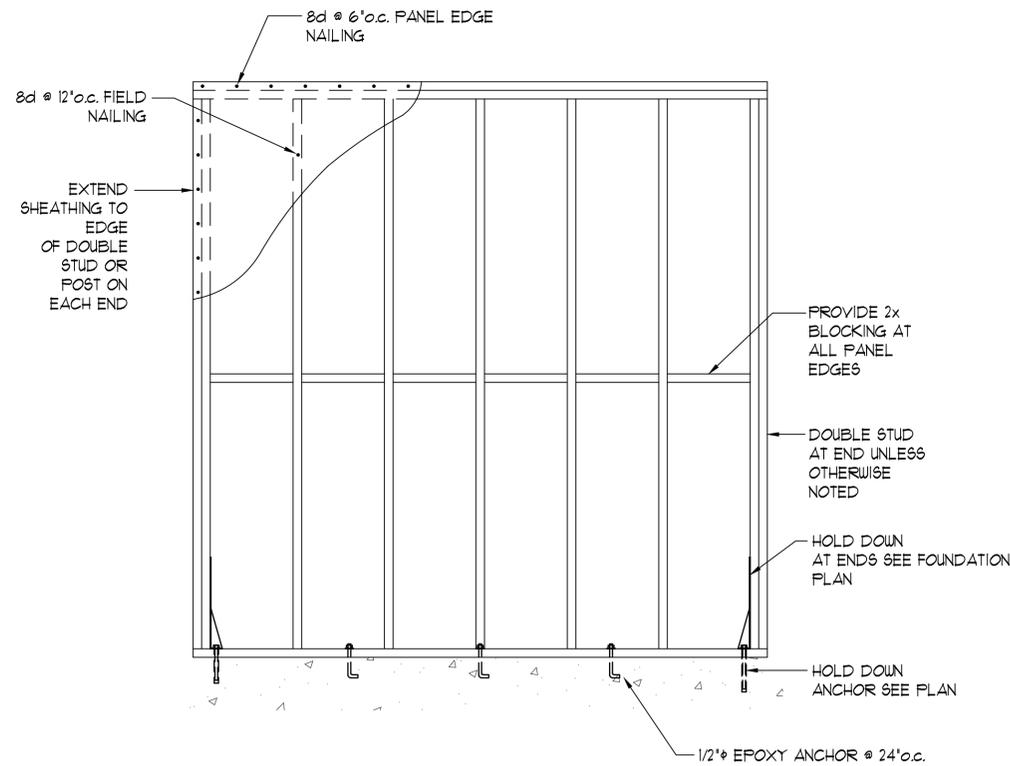
FOOTING ADJACENT TO UTILITY TRENCH
 NO SCALE

B
 S101



TYP. REINFORCING PLAN FOR CONC. FOOTINGS
 NOT TO SCALE

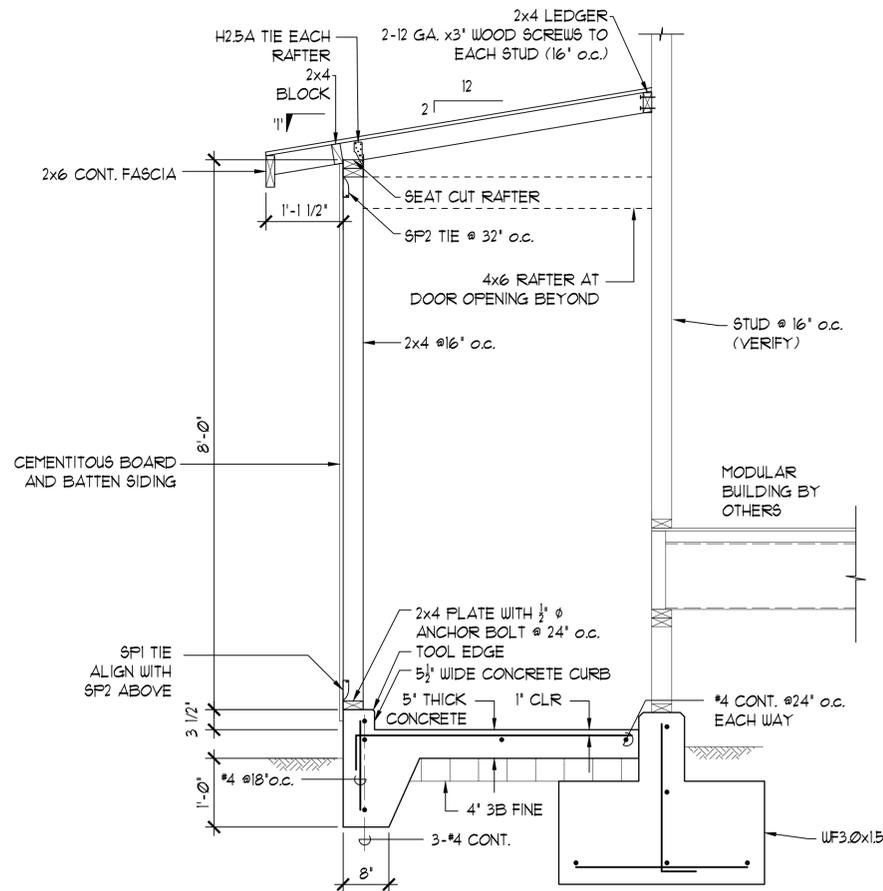
C
 S101



SCHEMATIC SHEAR WALL ELEVATION

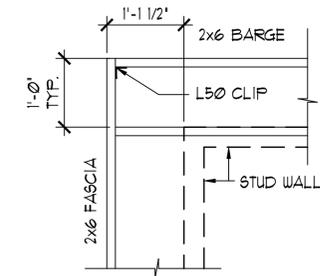
SHEAR WALL DETAILS
 NO SCALE

D
 S101

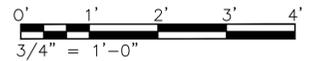


SECTION THROUGH WATER HEATER CLOSET
 NO SCALE

E
 S101



11' PLAN - RAFTERS AT CORNER



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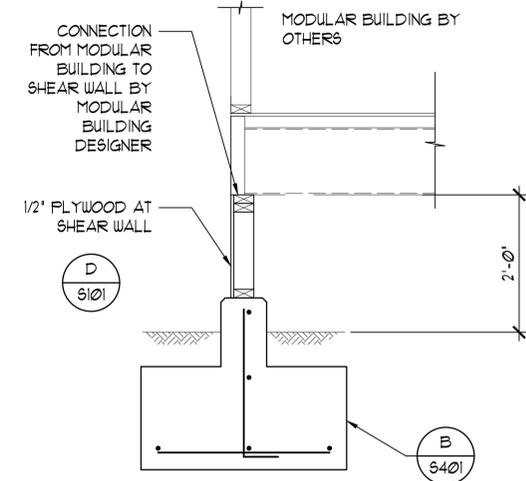
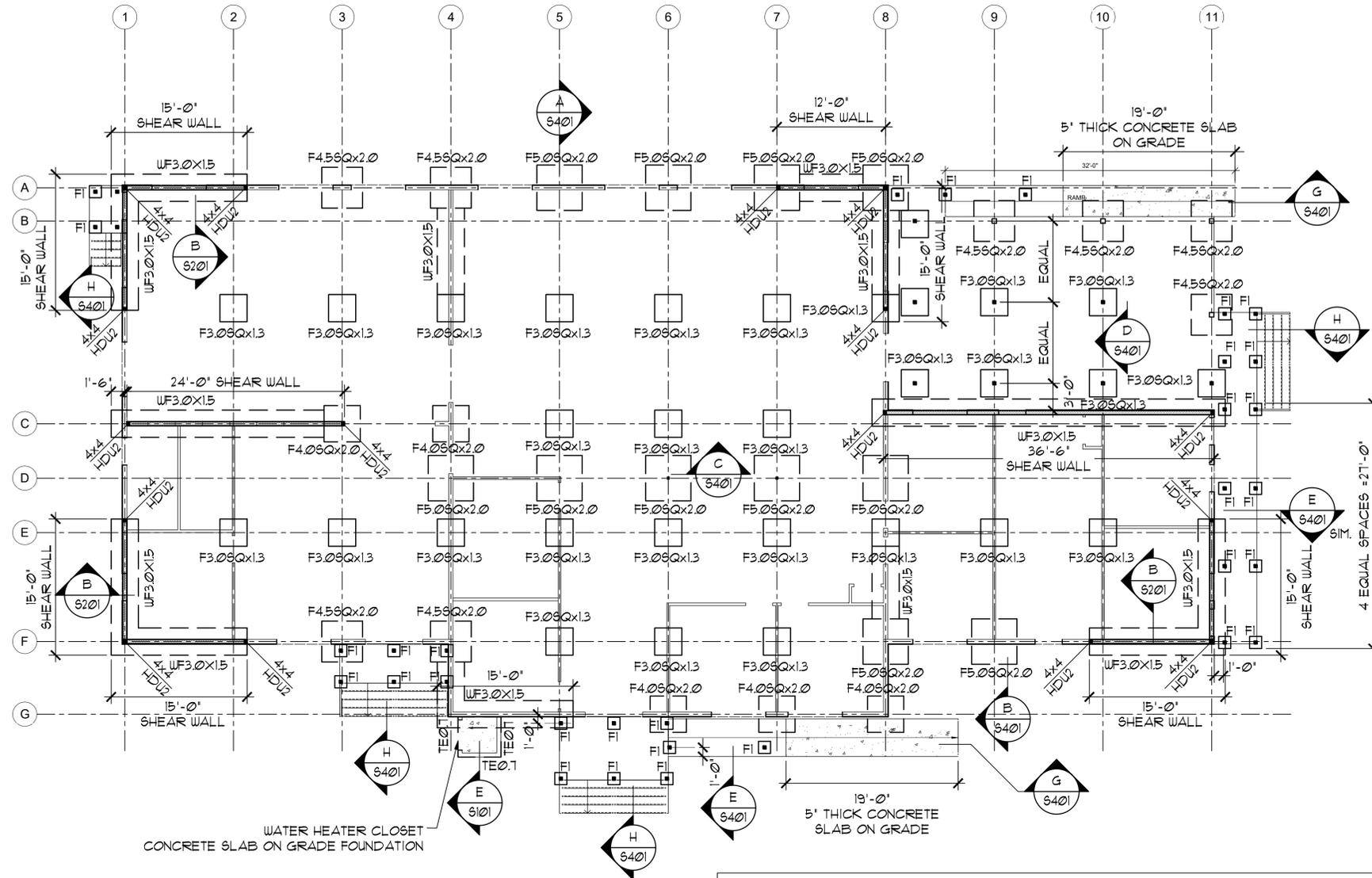
DEPARTMENT OF HAWAIIAN HOME LANDS
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TYPICAL DETAILS

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 NOT FOR CONSTRUCTION**

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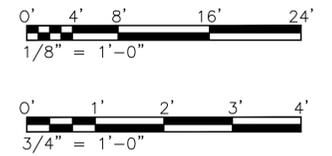
DWG. NO.
S101
 SHEET 42 OF 57



SHEAR WALL FOOTING
 SC: 3/4"=1'-0"

- NOTES:
 1. MODULAR BUILDING ROOF AND FLOOR FRAMING BY OTHERS
 2. SHEAR WALL INDICATES 1/2" THICK PLYWOOD SHEAR WALL BELOW THE BUILDING.

FOOTING SCHEDULE						
MARK	LENGTH	WIDTH	THICKNESS	BOTTOM REINFORCING	TOP REINFORCING	NOTE
FI	16'	16'	1'-6"	--	--	PRECAST CONCRETE
F3.05Qx1.3	3'-0"	3'-0"	1'-4"	4-#4 EACH WAY	--	
F4.05Qx2.0	4'-0"	4'-0"	2'-0"	6-#4 EACH WAY	6-#4 EACH WAY	
F4.55Qx2.0	4'-6"	4'-6"	2'-0"	6-#4 EACH WAY	6-#4 EACH WAY	
F5.05Qx2.0	5'-0"	5'-0"	2'-0"	5-#5 EACH WAY	5-#5 EACH WAY	
WF3.0x1.5	VARIABLES	3'-0"	1'-6"	3-#4 CONT. LONG #4 @12" O.C. SHORT	--	



FOUNDATION PLAN
 SC: 1/8"=1'-0"



FILE: D:\HLL_Hoolehua Vet Homestead Center Structural.dwg
 DATE REV: 11/05/2018

DWG. NO.
S201
 SHEET 430F 57

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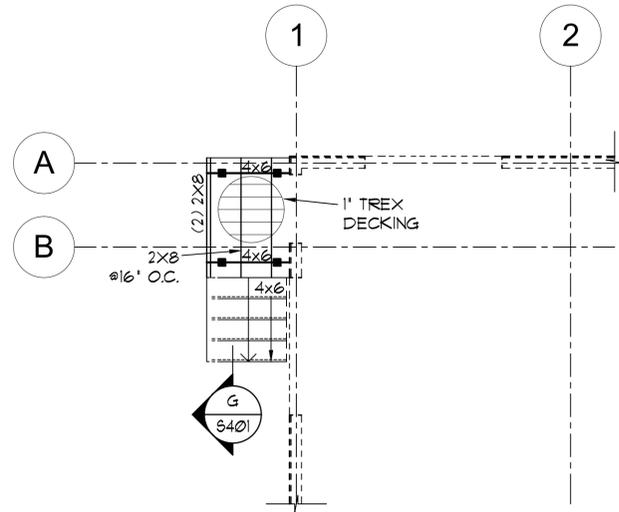
DEPARTMENT OF HAWAIIAN HOME LANDS
 STATE OF HAWAII

**HOOLEHUA VETERANS AND
 HOMESTEAD RESIDENT'S CENTER**
 RFP-19-HHL-007

FOUNDATION PLAN

**OWNER'S SAMPLE DESIGN
 NOT FOR CONSTRUCTION**

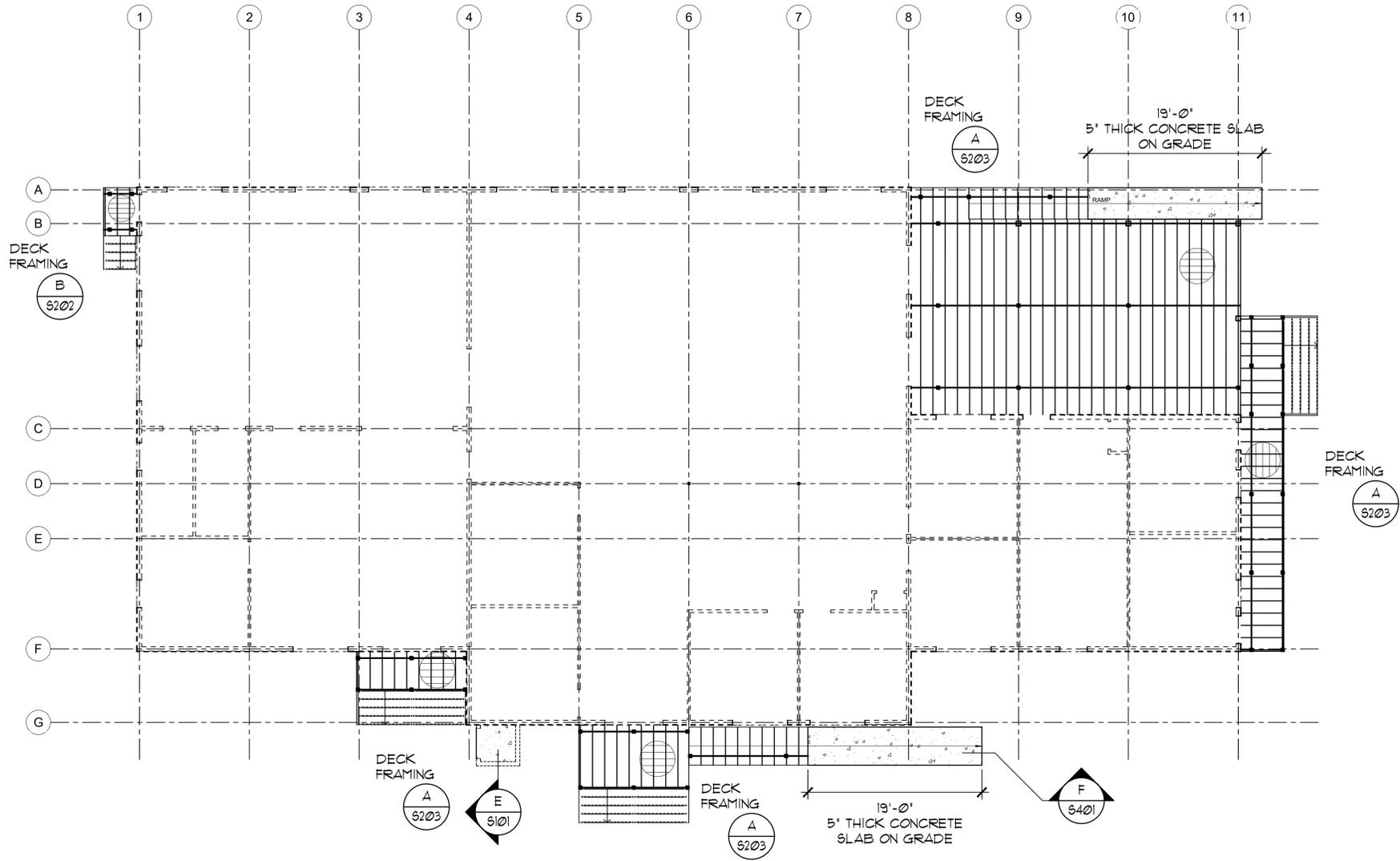
JUNE 2019



PARTIAL DECKING FRAMING PLAN

SC: 1/4"=1'-0"

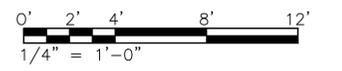
B
S202



DECK FRAMING PLAN

SC: 1/8"=1'-0"

A
S202

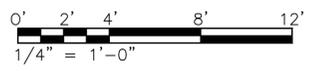
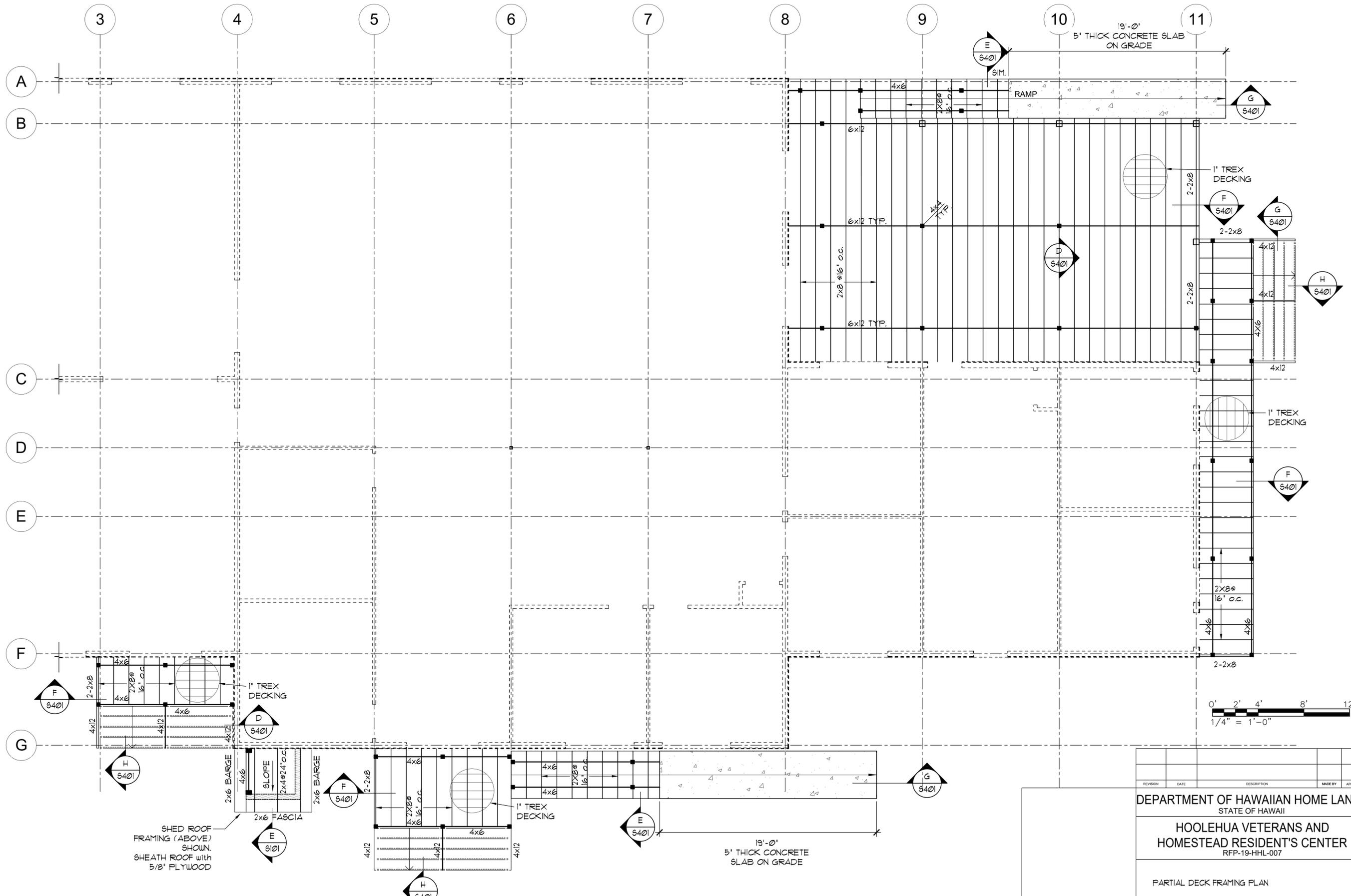


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 DATE REV: 11/05/2018

DWG. NO.
S202
SHEET 44 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
DECK FRAMING PLAN				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

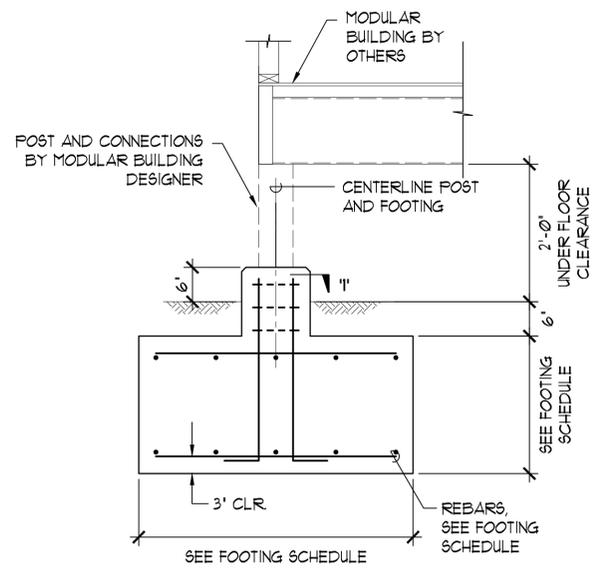
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 DATE: REV: 11/05/2018



PARTIAL DECK FRAMING PLAN
 SC: 1/4"=1'-0"

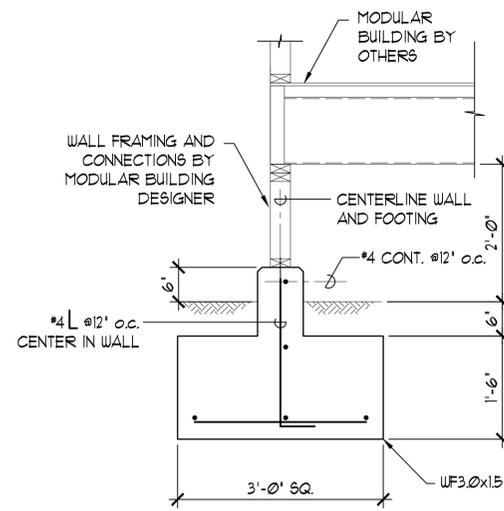
DWG. NO. **S203**
 SHEET 45 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED
DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007 PARTIAL DECK FRAMING PLAN				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				



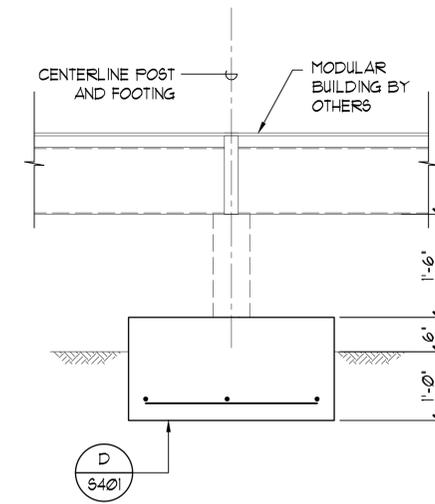
TYPICAL PERIMETER SPOT FOOTING
SC: 3/4"=1'-0"

A
S401



TYPICAL PERIMETER WALL FOOTING
SC: 3/4"=1'-0"

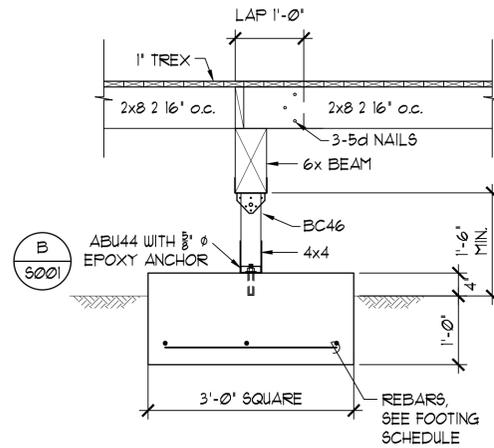
B
S401



NOTE:
FOR FOOTING DIMENSIONS AND
REINFORCING SEE FOOTING
SCHEDULE ON A/S202

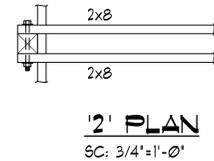
TYPICAL INTERIOR SPOT FOOTING
SC: 3/4"=1'-0"

C
S401

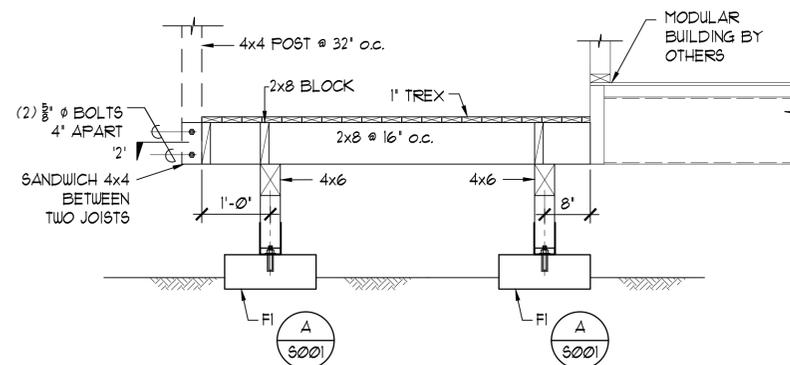


F3.0SQx1.3 INTERIOR SPOT FOOTING AT DECK
SC: 3/4"=1'-0"

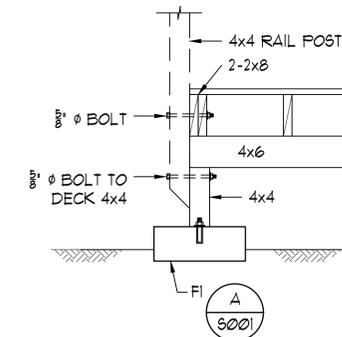
D
S401



SECTION AT RAMP
SC: 3/4"=1'-0"

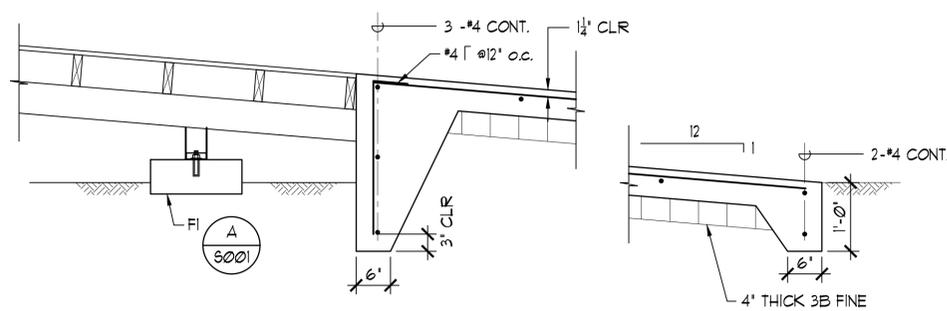


E
S401



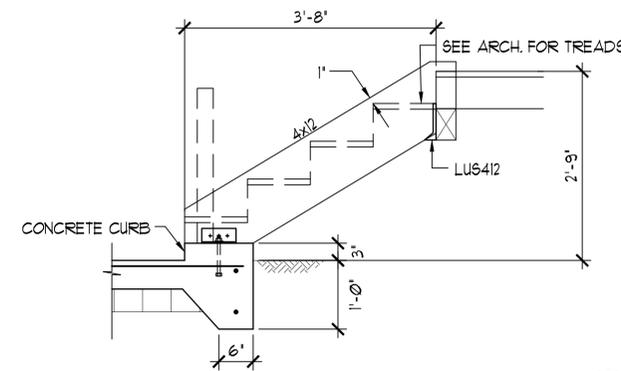
DETAIL
SC: 3/4"=1'-0"

F
S401



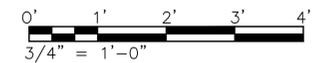
SECTION AT RAMP
SC: 3/4"=1'-0"

G
S401



SECTION AT STAIRS
SC: 3/4"=1'-0"

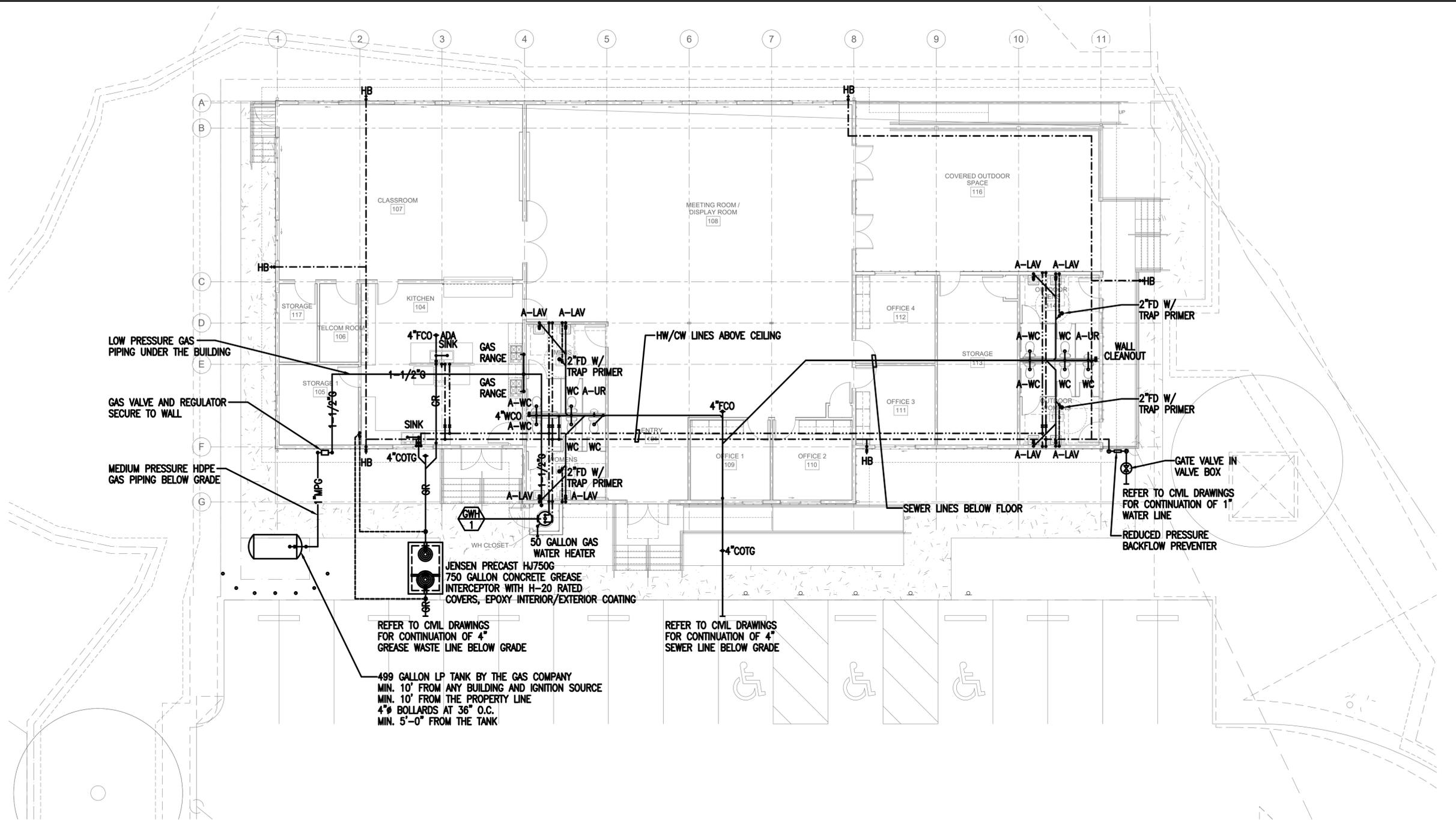
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S401



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DEPARTMENT OF HAWAIIAN HOME LANDS STATE OF HAWAII				
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007				
DETAILS				
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION				
JUNE 2019				

DWG. NO.
S401
SHEET 46 OF 57



FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

MECHANICAL LEGEND

- HW HOT WATER
- CW COLD WATER
- S SEWER
- V VENT
- GR GREASE WASTE
- A ACCESSIBLE
- LAV LAVATORY
- UR URINAL
- WC WATER CLOSET
- WCO WALL CLEANOUT
- COTG CLEANOUT TO GRADE
- HB HOSEBIBB
- EXH EXHAUST
- GWH GAS WATER HEATER

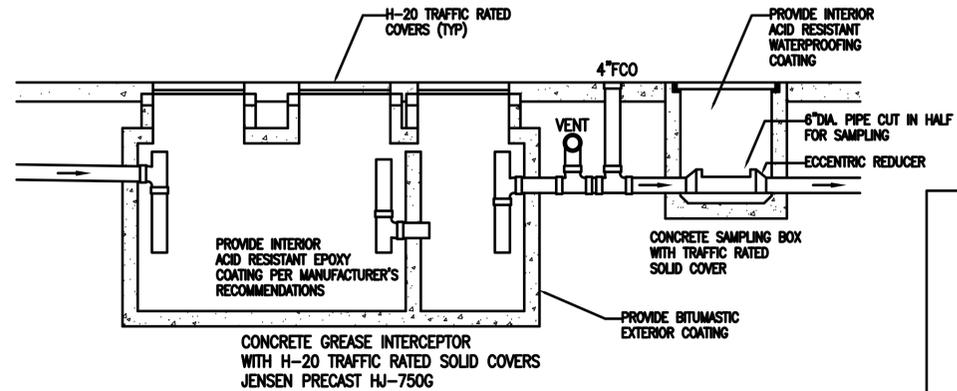
FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH NFPA 1 2012 EDITION

COUNTY OF MAUI
MAUI COUNTY CODE, CHAPTER 16.16A ENERGY CODE

To the best of my knowledge, this project's design substantially conforms to the Energy Code for:

- _____ Building Component Systems
- _____ Electrical Component Systems
- X Mechanical Component Systems

Signature: *R. Murayama* Date: 04/25/18
Name: Randolph H. Murayama, P.E.
Title: Mechanical Engineer
License No.: 3404-M



GREASE INTERCEPTOR SECTION
SCALE: NONE

DWG. NO.
M100
SHEET 47 OF 57

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

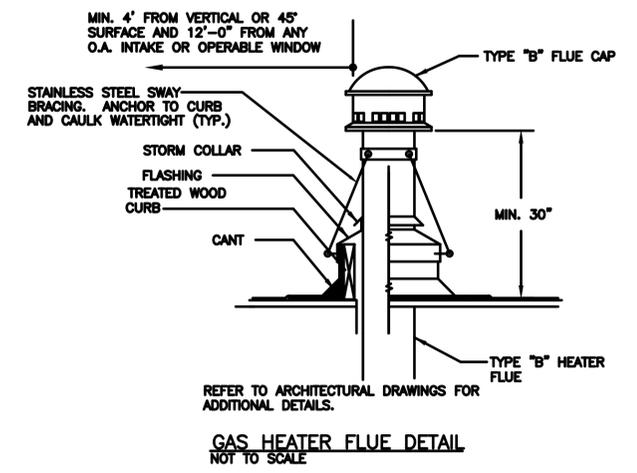
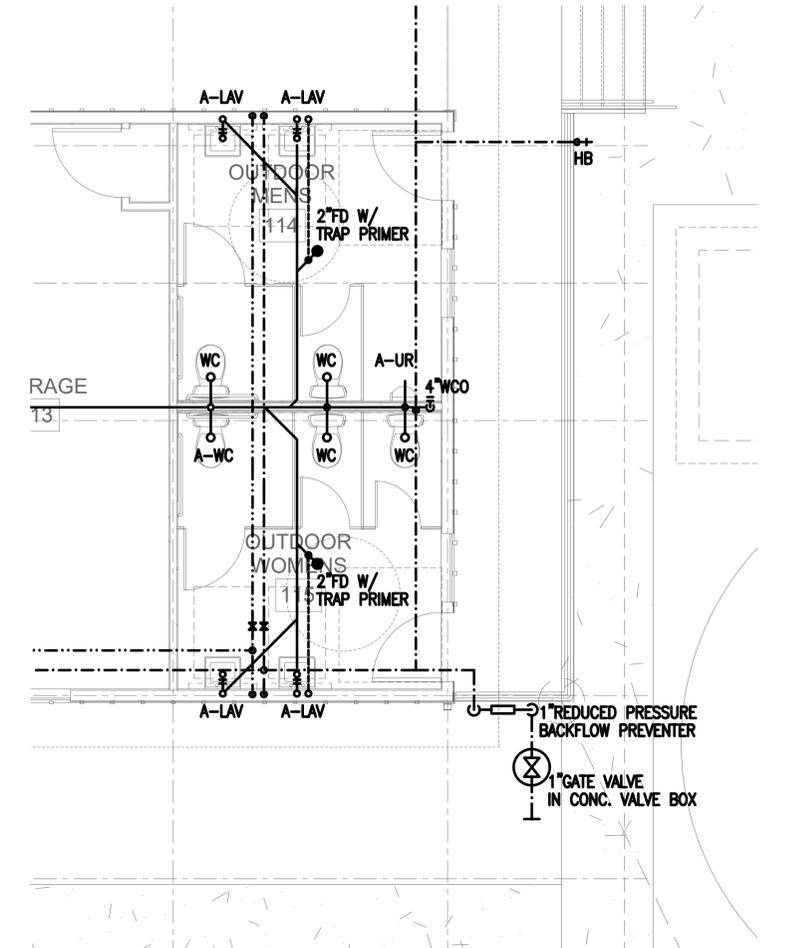
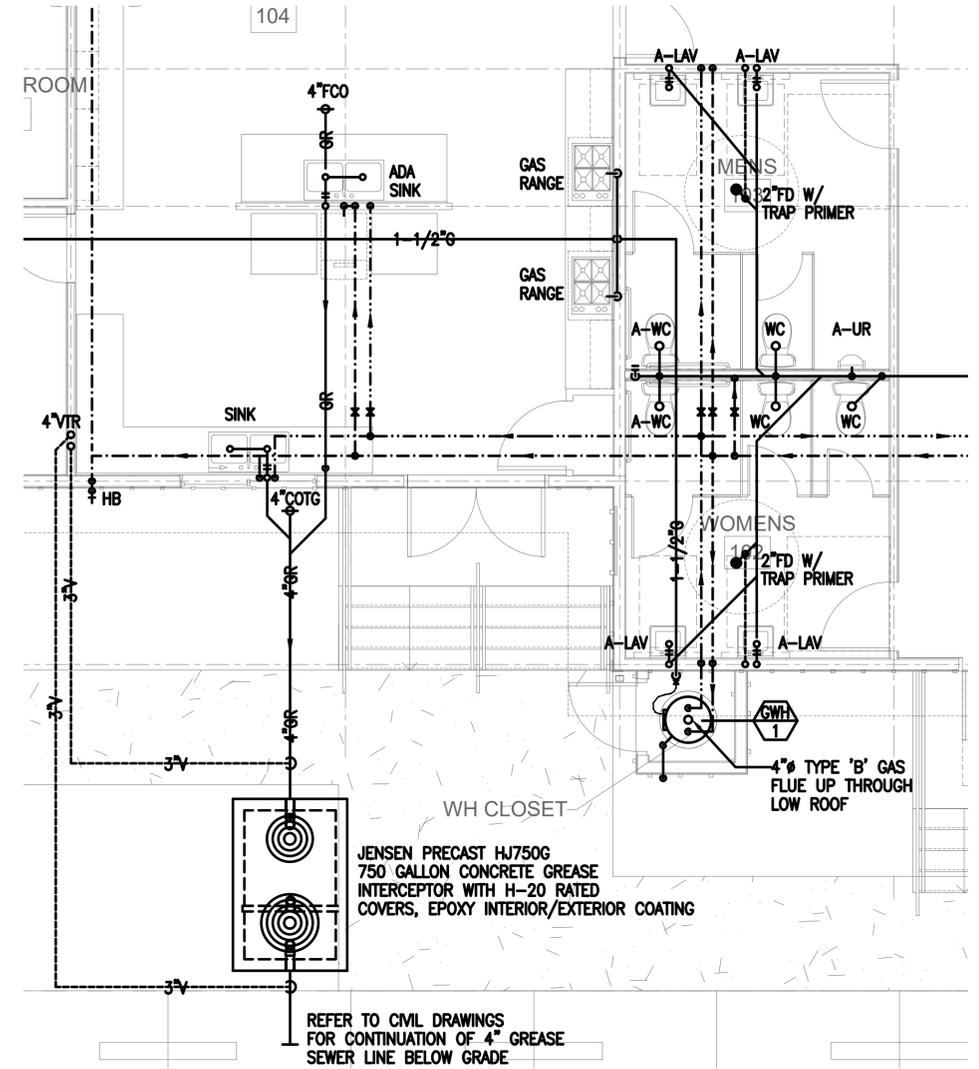
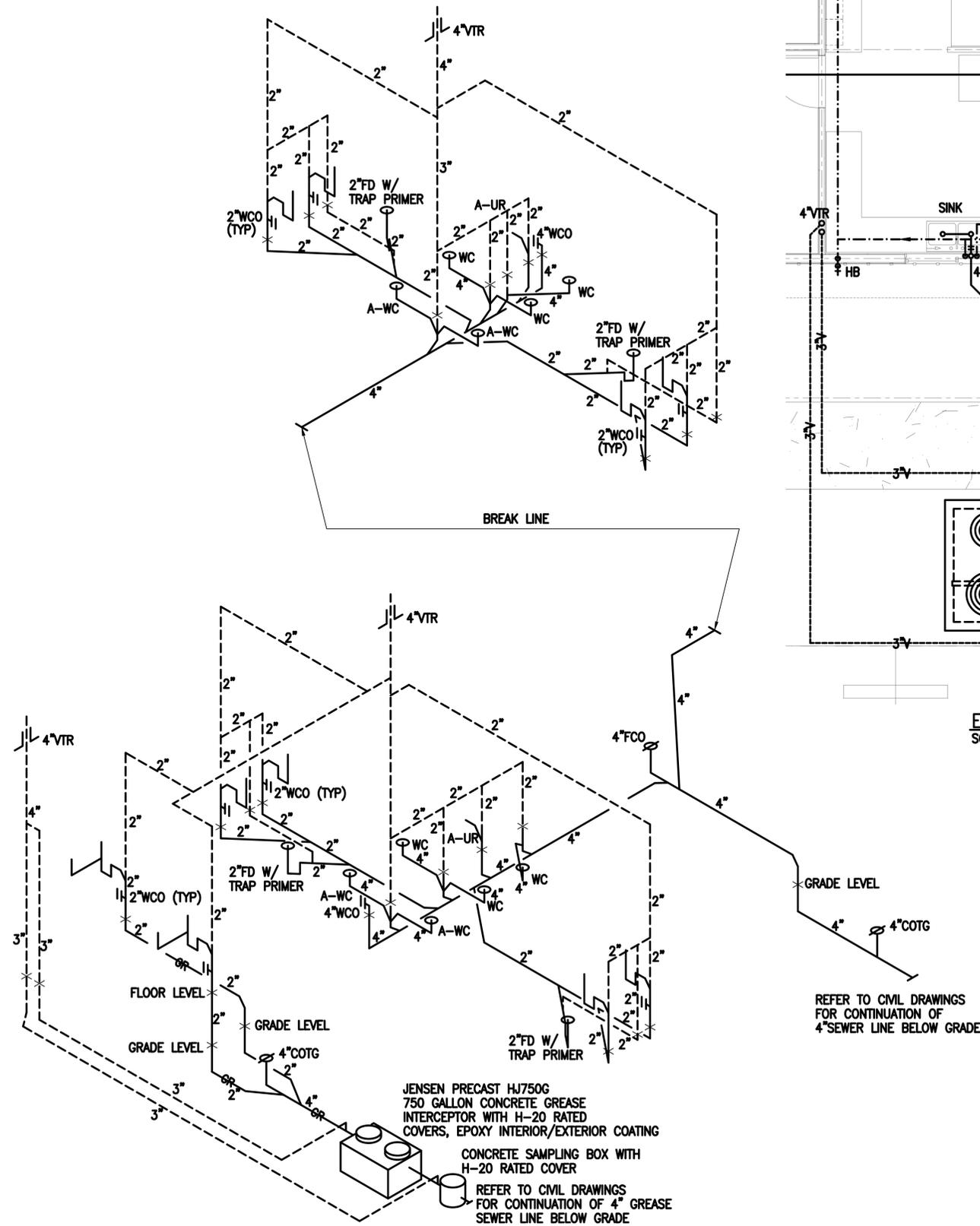
**HOOLEHUA VETERANS AND
HOMESTEAD RESIDENT'S CENTER**
RFP-19-HHL-007

FLOOR PLAN - PLUMBING
MECHANICAL LEGEND

OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION

JUNE 2019

18-10_DHHL.mxd
 DATE REV: 8/05/2019



- MECHANICAL EQUIPMENT SCHEDULE:**
- EF-1: GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 16"x16"x16" MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING INTERLOCK W/BATHROOM LIGHT SWITCH
 - EF-2: SAME AS EF-1
 - EF-3: SAME AS EF-1
 - EF-4: SAME AS EF-1
 - EF-K: GREENHECK SQ-95, DIRECT DRIVE IN-LINE CENTRIFUGAL, 16"x16"x16" MAX OVERALL DIMENSIONS, 115V/1PH/60HZ, 1/6 HP, INSULATED CASING INTERLOCK W/ADJUSTABLE THERMOSTAT SWITCH. PROVIDE RELAY, CONTROLLER AND RUN-TIMER TO PREVENT SHORT-CYCLING
 - GWH-1: BRADFORD WHITE RG250T6N, LP FIRED, 35,000 BTUH INPUT, 50 GALLON CAPACITY 43 GPH RECOVERY AT 90F RISE. MAX 24" DIAMETER. 115V/1PH/60HZ SPARK IGNITION

REVISION	DATE	DESCRIPTION	MADE BY	APPROVED

DEPARTMENT OF HAWAIIAN HOME LANDS
 STATE OF HAWAII

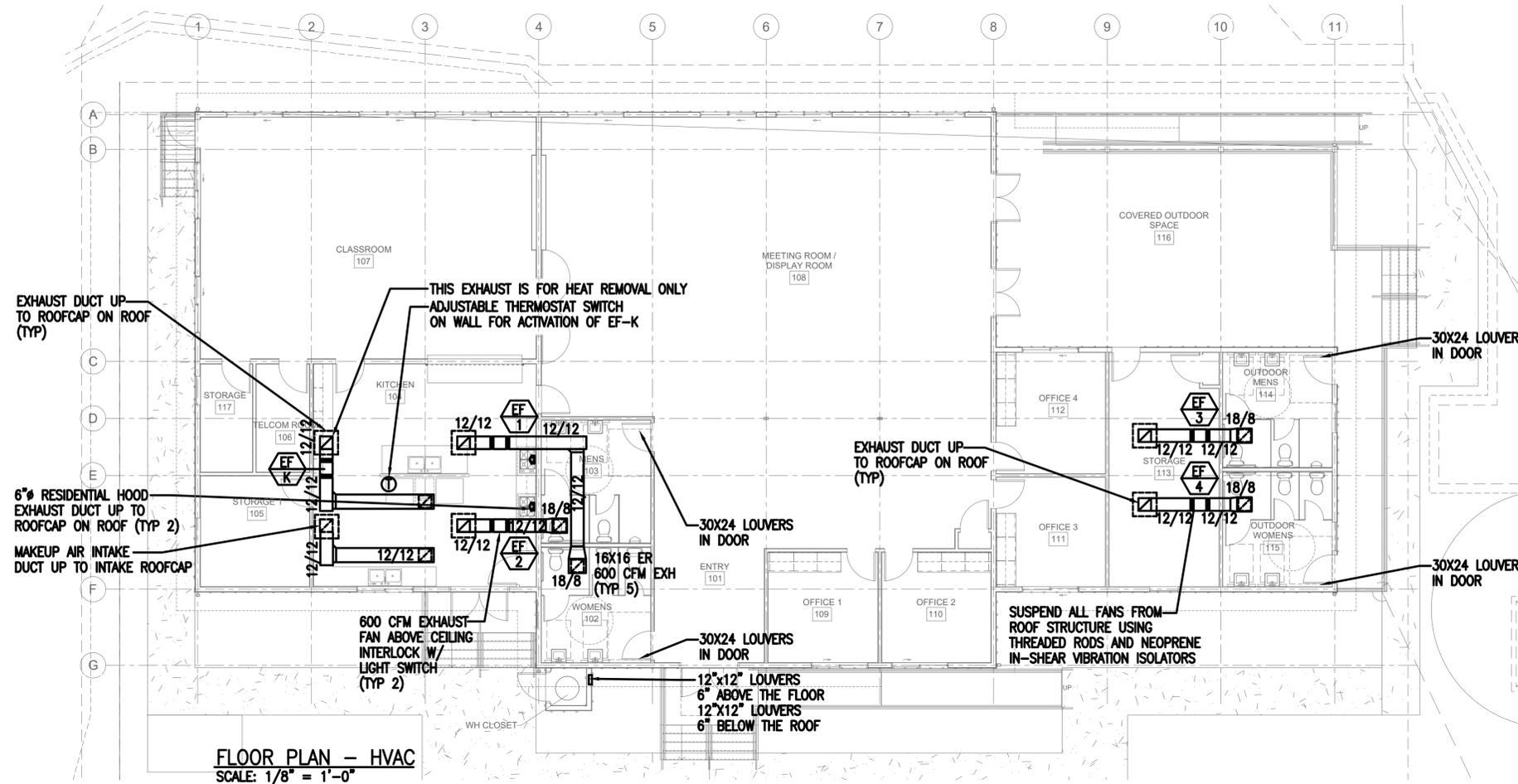
HOOLEHUA VETERANS AND
 HOMESTEAD RESIDENT'S CENTER
 RFP-19-HHL-007

ENLARGED SCALE FLOOR PLANS -- PLUMBING
 SANITARY PIPING DIAGRAM
 MECHANICAL EQUIPMENT SCHEDULE

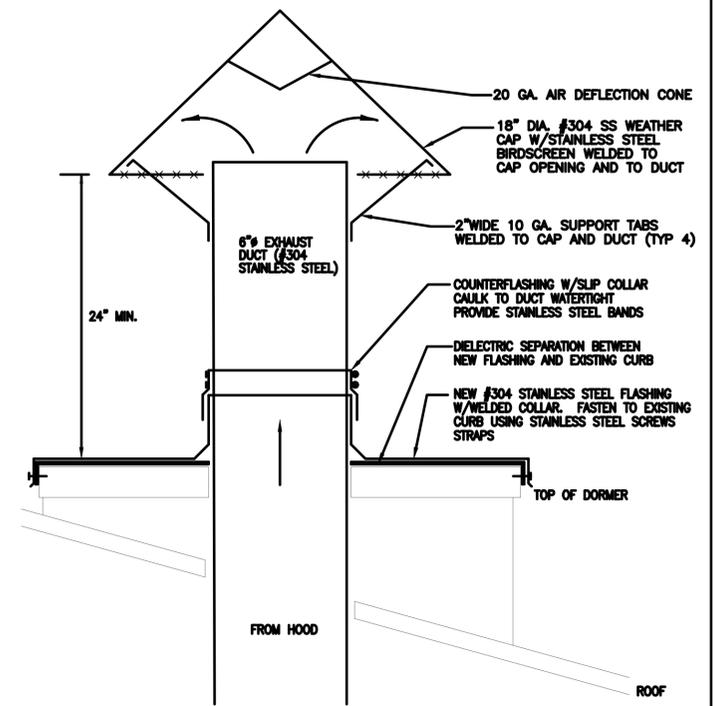
**OWNER'S SAMPLE DESIGN
 NOT FOR CONSTRUCTION**

JUNE 2019

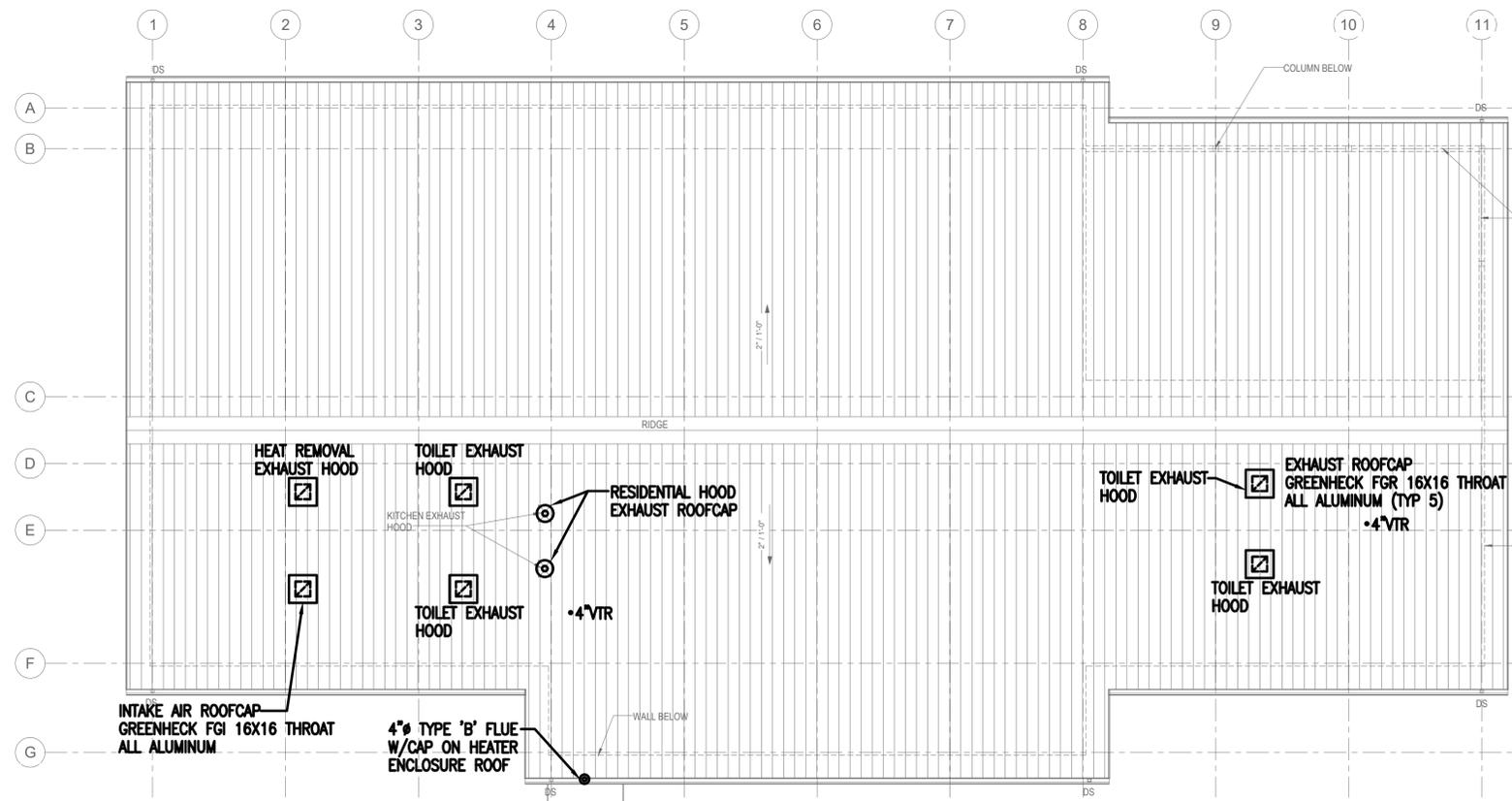
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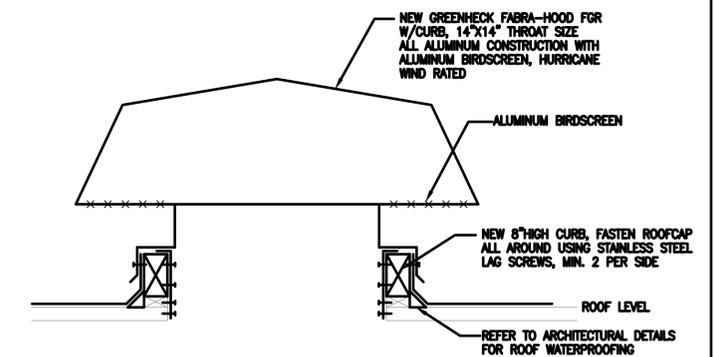
FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"



NEW RESIDENTIAL HOOD EXHAUST CAP DETAIL
SCALE: NONE



ROOF PLAN - MECHANICAL
SCALE: 1/8" = 1'-0"



NEW EXHAUST ROOFCAP DETAIL
SCALE: NONE

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DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII
**HOOLEHUA VETERANS AND
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RFP-19-HHL-007

FLOOR PLAN - HVAC
ROOF PLAN - MECHANICAL
HVAC DETAILS

**OWNER'S SAMPLE DESIGN
NOT FOR CONSTRUCTION**

JUNE 2019

19-10_DHHL_m1.dwg
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HAWAIIAN TELCOM, GENERAL CONSTRUCTION/DESIGN NOTES

1. THE CONTRACTOR SHALL PROCURE AND PAY ALL LICENSES AND PERMITS AND SHALL GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
2. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT AND TONING REQUEST FROM HAWAIIAN TELCOM'S EXCAVATION PERMIT SECTION, LOCATED AT 1177 BISHOP STREET, THIRD FLOOR, TWO WEEKS PRIOR TO THE START OF CONSTRUCTION. HOURS OF BUSINESS ARE 8:00 A.M. TO 11:00 P.M. AND 12:00 P.M. TO 3:00 P.M. MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS.
3. PRIOR TO THE EXCAVATION OF THE DUCT LINE, THE CONTRACTOR SHALL REQUEST HAWAIIAN TELCOM TO LOCATE EXISTING DUCT LINE WHEREVER REQUIRED. FOR UNDERGROUND CABLE LOCATING AND MARKING, FIVE (5) WORKING DAYS ADVANCE NOTICE IS REQUIRED. THREE (3) WORKING DAYS ADVANCE NOTICE IS REQUIRED FOR ANY INSPECTION BY A DESIGNATED REPRESENTATIVE.
4. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND SHALL MAINTAIN PROPER CLEARANCES WHENEVER CONSTRUCTION CROSSES OR IS IN CLOSE PROXIMITY OF HAWAIIAN TELCOM FACILITIES. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND SHALL BE LIABLE FOR ANY DAMAGES TO HAWAIIAN TELCOM FACILITIES. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO HAWAIIAN TELCOM'S REPAIR SECTION AT #611 (24 HOURS) OR TO THE EXCAVATION PERMIT SECTION AT 546-7746 (NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS). AS A RESULT OF HIS OPERATIONS, ADJUSTMENTS TO THE NEW DUCT LINE ALIGNMENT, IF REQUIRED, SHALL BE MADE TO PROVIDE THE REQUIRED CLEARANCES.
5. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTION NOT TO DAMAGE EXISTING CABLES OR DUCTS. A HAWAIIAN TELCOM INSPECTOR OR DESIGNATED REPRESENTATIVE IS REQUIRED TO BE AT ANY JOB SITE WHENEVER THERE WILL BE A BREAKAGE INTO OR ENTRY INTO ANY STRUCTURE THAT CONTAIN HAWAIIAN TELCOM FACILITIES. TEMPORARY CABLE AND DUCT SUPPORTS SHALL BE PROVIDED WHENEVER NECESSARY.
6. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM'S INSPECTOR OF DESIGNATED REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION, BRACING, OR BACK FILLING OF HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
7. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE "HAWAIIAN TELCOM STANDARD SPECIFICATIONS FOR PLACING TELEPHONE SYSTEMS", DATED JANUARY 2007. ALL SUBSEQUENT AMENDMENTS AND ADDITIONS, AND ALL OTHER PERTINENT STANDARDS FOR TELEPHONE CONSTRUCTION. CONTRACTOR SHALL FAMILIARIZE HIS PERSONNEL BY OBTAINING APPLICABLE SPECIFICATIONS.
8. WHEN EXCAVATION IS ADJACENT TO OR BENEATH HAWAIIAN TELCOM'S EXISTING STRUCTURES OF FACILITIES, THE CONTRACTOR SHALL:
 - a) SHEET AND/OR BRACE THE EXCAVATION TO PREVENT SLIDES, CAVE-INS, OR SETTLEMENTS TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
 - b) PROTECT EXISTING STRUCTURES AND/OR FACILITIES WITH BEAMS, STRUTS, OR UNDERPINNING WHILE EXCAVATING BENEATH THEM TO ENSURE NO MOVEMENT TO HAWAIIAN TELCOM'S STRUCTURES OR FACILITIES.
9. THE CONTRACTOR SHALL BRACE ALL POLES OR LIGHT STANDARDS NEAR THE NEW DUCTLINE, MANHOLE, OR HANDHOLE DURING HIS OPERATIONS.
10. THE CONTRACTOR SHALL SAW-CUT A.C. PAVEMENT AND CONCRETE GUTTER WHEREVER NEW MANHOLES, OR DUCTLINES ARE TO BE PLACED AND SHALL RESTORE TO EXISTING CONDITION OR BETTER.
11. THE CONTRACTOR SHALL COMPLY WITH THE POLICY ADOPTED BY THE DEPARTMENT OF PUBLIC WORKS, CITY AND COUNTY OF HONOLULU, CONCERNING THE REPLACEMENT OF CONCRETE SIDEWALKS AFTER EXCAVATION WORK.
12. THE UNDERGROUND PIPES, CABLES, OR DUCTLINES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS AND INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. WHEREVER CONNECTIONS OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR THE NEW LINES.
13. WHENEVER CONNECTIONS TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES PRIOR TO EXCAVATION OF THE MAIN TRENCHES TO VERIFY THEIR LOCATIONS AND DEPTHS.
14. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE COST FOR SUPPLEMENTARY MEASURES, WHICH WILL BE REQUIRED BY THE CITY AND COUNTY, SHALL BE BORNE BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL PUMP THE MANHOLES DRY DURING FINAL INSPECTION.
16. THE CONTRACTOR SHALL NOTIFY HAWAIIAN TELCOM INSPECTOR 24 HOURS PRIOR TO THE POURING OF CONCRETE OR BACKFILLING.
17. WHEN CONNECTING TO MANHOLE WALLS, ALL EXISTING REINFORCING BARS SHALL BE LEFT INTACT. DUCTS SHALL BE ADJUSTED IN THE FIELD IN ORDER TO CLEAR REINFORCING.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT ALL REQUIRED LINES AND GRADES AND SHALL PRESERVE ALL BENCH MARKS AND WORKING POINTS NECESSARY TO LAY OUT THE WORK CORRECTLY. THE NEW DUCT LINE SHALL BE ADJUSTED BY THE CONTRACTOR TO SUIT THE EXISTING CONDITIONS AND THE DETAILS AS DESCRIBED IN THE PLANS.
19. MINIMUM, CONCRETE STRENGTH SHALL BE:

FOR DUCTLINE	2500 PSI AT 28 DAYS
FOR MANHOLE	3000 PSI AT 28 DAYS

 OR AS SPECIFIED IN DESIGN NOTES
20. BENDS IN THE DUCT ALIGNMENT, DUE TO THE CHANGES IN GRADE SHALL HAVE A MINIMUM RADIUS OF 25 FEET. ALL 90 DEGREE C-BENDS AT A POLE OR BUILDING FLOOR SLAB PENETRATION, SHALL HAVE A BEND RADIUS OF TEN TIMES THE DIAMETER OF THE DUCT OR GREATER.
21. AFTER DUCT LINE HAS BEEN COMPLETED, A MANDREL WITH A SQUARE FRONT NOT LESS THAN 12" LONG AND HAVING A DIAMETER OF 1/4" LESS THAN THE INSIDE DIAMETER OF THE DUCT, SHALL BE PULLED THROUGH EACH DUCT AFTER WHICH A BRUSH WITH STIFF BRISTLES SHALL BE PULLED THROUGH TO MAKE CERTAIN THAT NO PARTICLES OF EARTH, SAND, OR GRAVEL HAVE BEEN LEFT INSIDE. DUCTS SHALL BE COMPLETELY DRY AND CLEAN.
22. ALL DUCTS AND CONDUITS SHALL HAVE AN 1800# POLYESTER MULE-TAPE (NEPTCO, WP1800P, HAWAIIAN TELCOM MATERIAL CODE NO. 571154) INSTALLED THROUGHOUT ITS ENTIRE LENGTH. ALL DUCTS SHALL BE CAPPED TO PREVENT ENTRY OF FOREIGN MATERIAL DURING CONSTRUCTION AND AT THE COMPLETION OF INSTALLATION.

HAWAIIAN TELCOM NOTES
NOT TO SCALE



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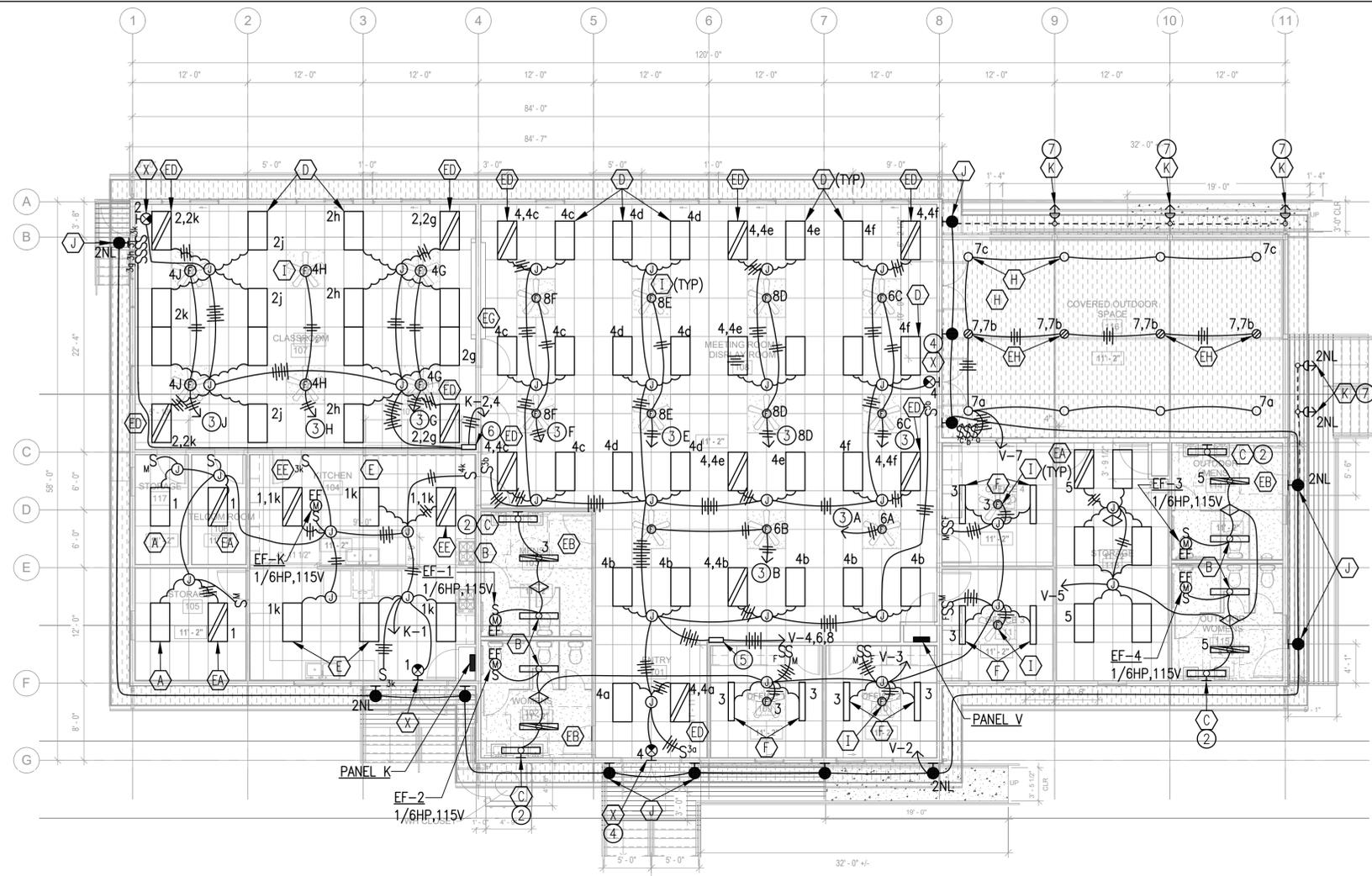
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STATE OF HAWAII

HOOLEHUA VETERANS AND
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RFP-19-HHL-007

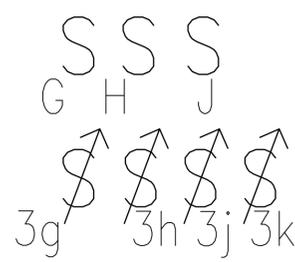
HAWAIIAN TELCOM NOTES

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NOT FOR CONSTRUCTION**

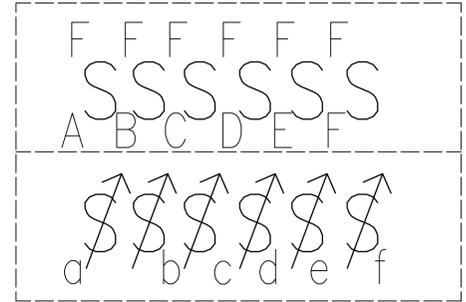
JUNE 2019



- LIGHT NOTES:**
- ① MOUNT ABOVE FINISH FLOOR.
 - ② MOUNT ABOVE MIRROR.
 - ③ TO CEILING FAN SWITCH, AS DESIGNATED.
 - ④ MOUNT 6" ABOVE DOOR.
 - ⑤ SWITCH BANK "A". SEE DETAIL THIS SHEET.
 - ⑥ SWITCH BANK "B". SEE THIS SHEET.
 - ⑦ SURFACE MOUNT UNDER OVERHANG. PAINT ALL EXPOSED RACEWAY TO MATCH.
 - ⑧ PROVIDE 0-10V WIRING TO ALL 0-10V LUMINAIRES FOR LIGHTING CONTROL.



SWITCH BANK B
NO SCALE

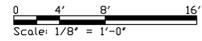


SWITCH BANK A
NO SCALE

- SWITCH BANK NOTES:**
1. LABEL ALL SWITCHES.
 2. COORDINATE LIGHT SWITCHES WITH DIMMABLE DRIVER TYPE. PROVIDE 0-10V WIRING AS REQUIRED.
 3. FAN SWITCHES SHALL BE FULLY COMPATIBLE WITH FAN.
 4. PROVIDE GANGED COVER PLATES.

LIGHTING PLAN
SCALE: 1/8" = 1'-0"

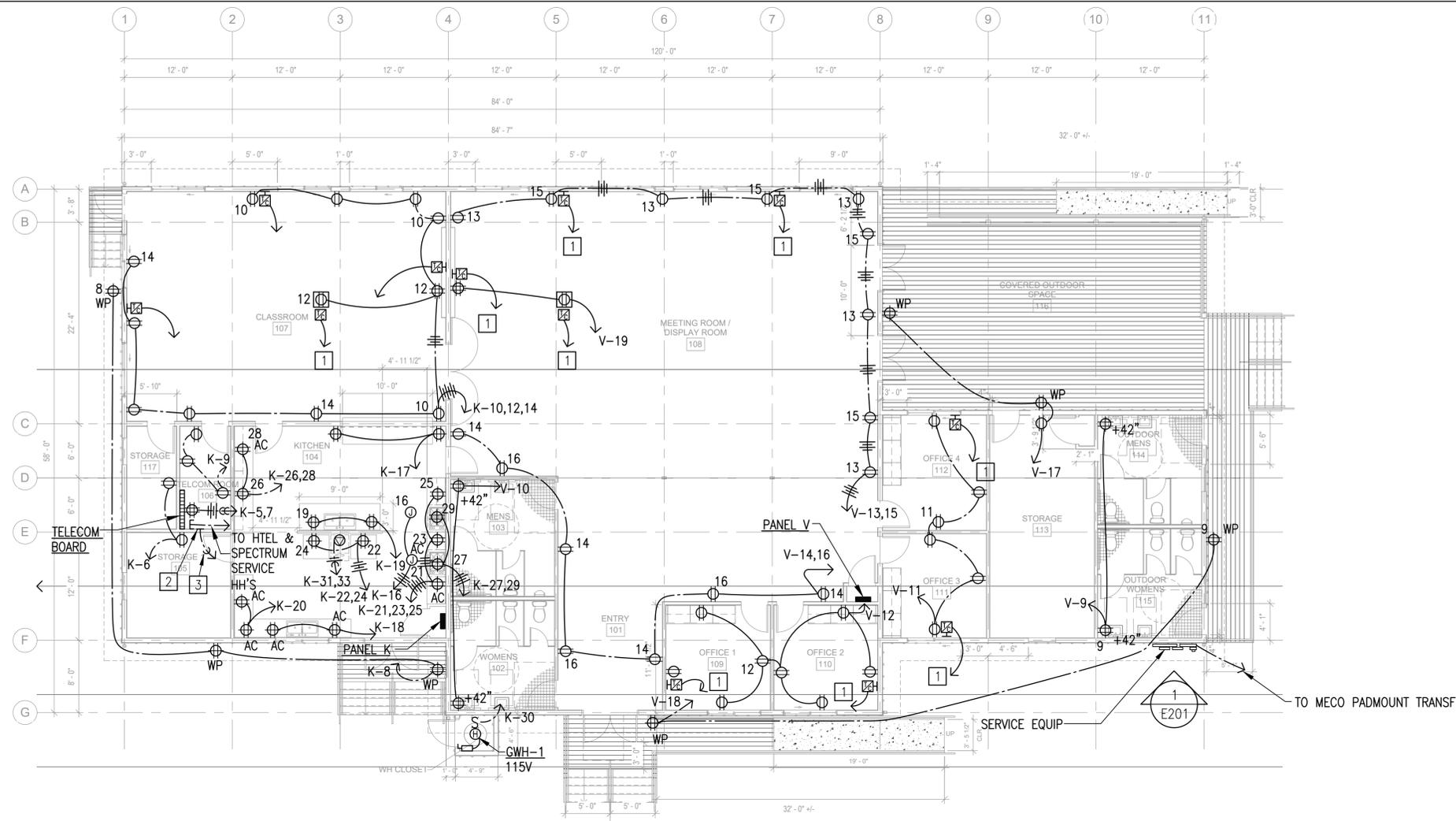
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DATE: REV: 11/05/2018



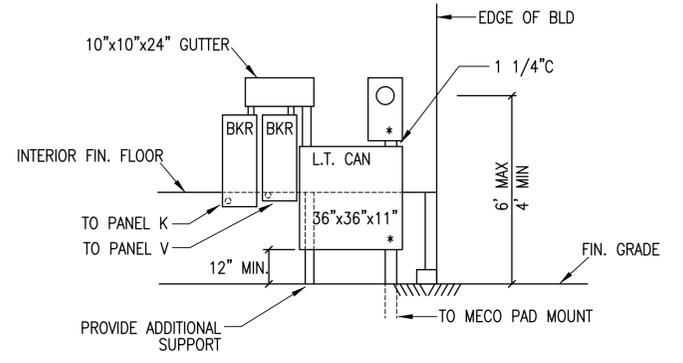
E200
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DEPARTMENT OF HAWAIIAN HOME LANDS
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007
LIGHTING PLAN
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION



- POWER & SIGNAL NOTES:**
- 1 1" C, TO TELECOM TERMINAL BOARD.
 - 2 1/4"(TH)x4"x10" COPPER 1 BUS BAR
 - 3 3/4"C, #1/0, GROUNDING CONDUCTOR

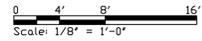


- NOTES:**
1. ELECTRICAL EQUIPMENT SHALL BE NEMA 4XS.
 2. * SEALABLE ENCLOSURE

1 ELEVATION
E201 SCALE: 3/8" = 1'-0"

POWER & SIGNAL PLAN
SCALE: 1/8" = 1'-0"

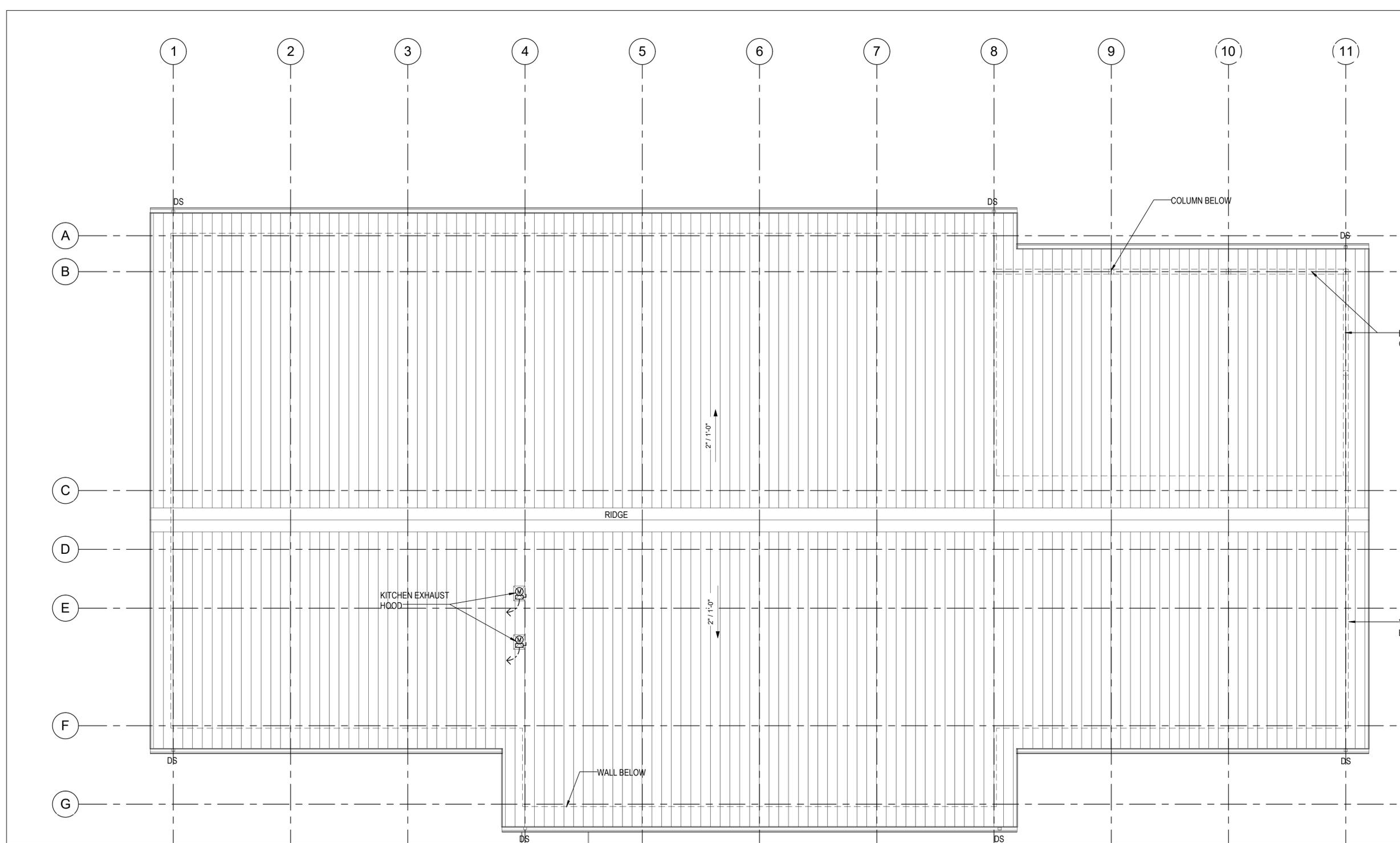
FILE: E-201 Power & Signal Plan.dwg
DATE: REV: 11/05/2018



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DEPARTMENT OF HAWAIIAN HOME LANDS	
HOOLEHUA VETERANS AND HOMESTEAD RESIDENT'S CENTER RFP-19-HHL-007	
POWER & SIGNAL PLAN	
OWNER'S SAMPLE DESIGN NOT FOR CONSTRUCTION	
JUNE 2019	



ROOF ELECTRICAL PLAN
 SCALE: 3/16"=1'-0"

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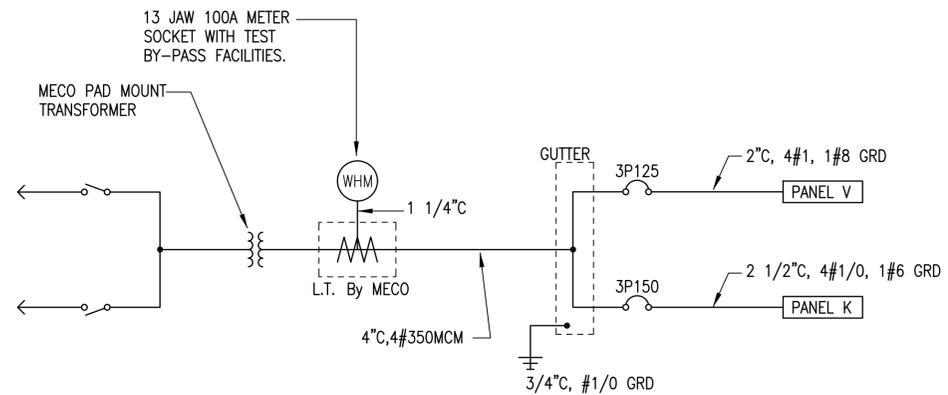
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ROOF ELECTRICAL PLAN

**OWNER'S SAMPLE DESIGN
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SINGLE LINE DIAGRAM

FILE: E-300 - Single Line Diagram.dwg
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SINGLE LINE
 DIAGRAM

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FILE	POCKET	FOLDER	NO.

