



HAWAIIAN HOME LANDS
HAWAIIAN HOMES COMMISSION
DEPARTMENT OF HAWAIIAN HOME LANDS

Honomū Subsistence Agricultural Homestead Community

Beneficiary Meeting #2
March 27, 2018

AGENDA

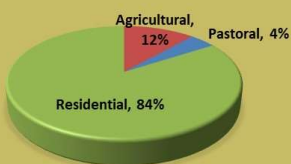
- I. Welcome
- II. Project Update
 - a. Project description
 - b. Previous questions and comments
 - c. Environmental resource studies
 - d. Guiding Principles and Environmental Concept
 - e. Conceptual Plan Alternatives
- III. Break Out Group Discussions
- IV. Next Steps

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Why Agriculture?

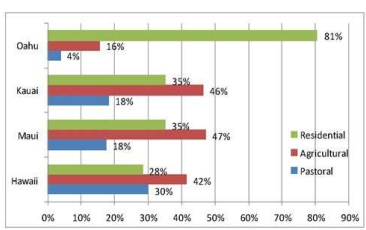
- Provision of the HHCA
- 20 years since the last Agricultural Homestead Award
- Sustainability - requires agriculture
- The Agricultural Waitlists are longer than the Residential Waitlists on most islands

HOMESTEAD LEASES STATEWIDE



Lease Type	Percentage
Residential	84%
Agricultural	12%
Pastoral	4%

Figure 2. Application Type and Island, 2014



Island	Residential	Agricultural	Pastoral
Oahu	81%	16%	4%
Kauai	46%	35%	18%
Maui	47%	35%	18%
Hawaii	30%	78%	42%

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What is a Subsistence Agricultural Homestead Lease?

- Agricultural Administrative Rules were recently amended
- Lessees shall within three years:
 - Actively cultivate subsistence agriculture or
 - Reside and cultivate subsistence agriculture

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Who Can Get a Subsistence Agriculture Lease in Honomū?

- Leases would be awarded according to the rank order on the Hawai'i Island Agricultural Waitlist
- DHHL invited the Top 500 applicants on the Hawai'i Island Agricultural Wait List to participate in planning meetings
- These are applicants who applied between 1952 and 1985
- The Average Age of those invited is 66 years old

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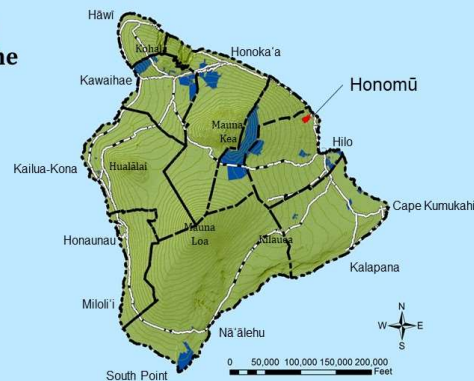
Lease Awards Process

STEP	ESTIMATED SCHEDULE
Orientation	4 th Q 2018
Lot Selection	4 th Q 2018
Training Workshops (ongoing)	4 th Q 2018 (start)

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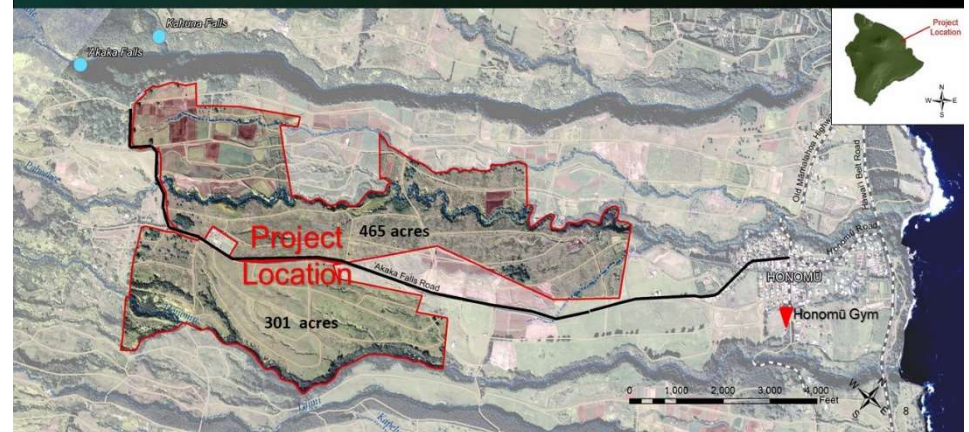
DHHL Lands on Hawai'i Island

Approximately 118,000 acres, which is 58% of the entire Hawaiian Home Lands Trust



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DHHL'S Honomū Lands



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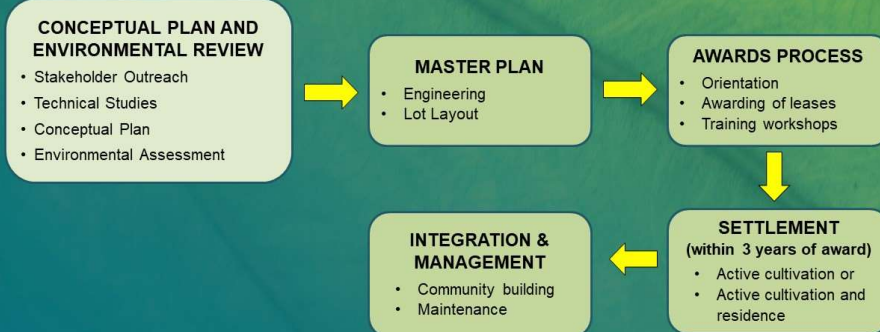
Why Honomū?

- DHHL Island Plans identify homestead development priorities
- Accessible
- Arable Land
- High Rainfall (150" - 225")
- Access to Agricultural Support Networks

Honomū Current Land Uses

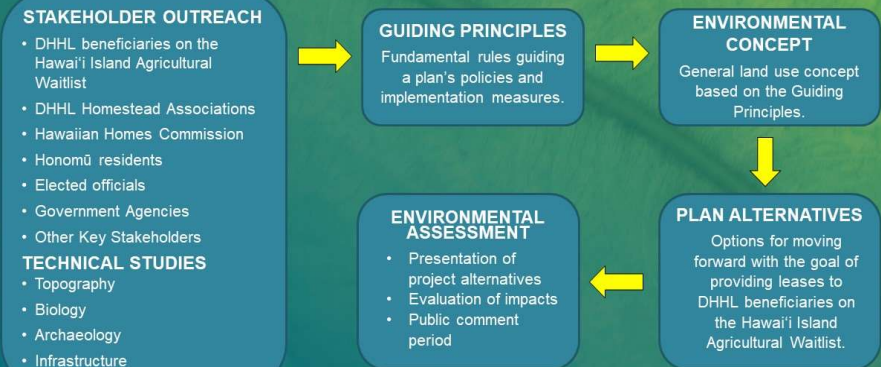


Overview of the Honomū Agricultural Homestead Process



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Honomū Conceptual Plan and Environmental Review Process



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Beneficiary Meeting #1

October 24, 2017

Major Issues and Concerns raised

- Definition of subsistence agriculture
- Assistance with farming
- Safety and access
- Lessees' cost: infrastructure and lot preparation
- Lease process and requirements
- Environmental management

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Community Meeting #1

October 23, 2017

Major Issues and Concerns Raised

- High rainfall and runoff
- Density of lots, population increases, and impacts to the rural character of Honomū
- Monitoring and compliance with lease terms
- Training on farm and environmental practices
- Crime and agricultural theft
- Infrastructure: water, wastewater, traffic/roads

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Comments from the Honomū Village Association

- Concerns about impacts on existing community:
 - Population, traffic, police, emergency response, storm water runoff/drainage
- Questions about the Homestead Community:
 - Will the community have rules? Management of squatters, unsafe, unsanitary situations? Will DHHL clear all the land? What about farm theft?
- Questions about Subsistence Agriculture:
 - Are there criteria related to farming? Use of pesticides? Have we met with Ag Extension agents? Does subsistence mean lessees cannot sell their produce?
- Questions about Dwelling Units:
 - What percent of lessees will construct homes? What rules apply? Cesspools? Water?

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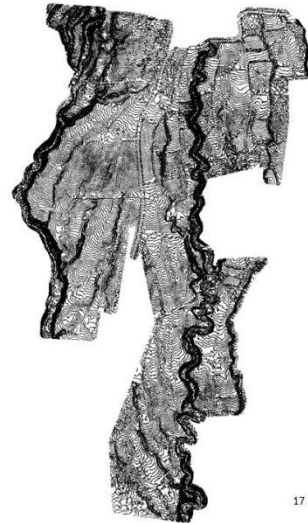
Technical Studies

- Topographic Survey
- Soils
- Biological Resources
- Archaeology
- Infrastructure
- Others

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Findings: Topography & Drainage

- Two perennial streams
- Several drainages
- Steeper slopes around significant drainages
- Flat to moderate slopes (<15%) throughout much of the rest of the property



Findings: Soils

- Adequate for farming
- May need some soil amendments
- Avoid slopes greater than 20%



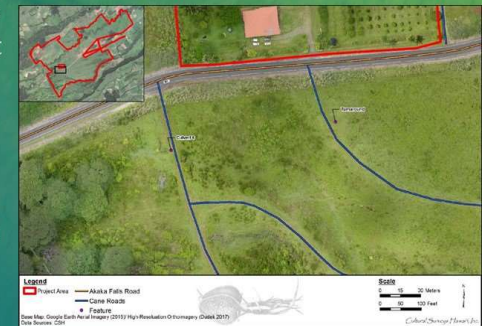
Findings: Biological Resources

- Mostly dominated by invasive grasses, herbs, shrubs, and weeds; some native plants are established.
- Rare, threatened, or endangered plant species are no longer present.
- Mostly non-native fauna observed; Hawaiian hawk observed.
- Would expect to see native migratory, sea, and water birds; Hawaiian hoary bat; o'opu

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Findings: Archaeology

- Majority of the property has been extensively modified by previous sugar cultivation and subsequent agricultural and ranching activities
- Pre-Contact features may be present within stream gulches
- Historic features associated with transportation and the sugar plantation are still present



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Findings: Infrastructure

- Network of existing dirt/grassed roads
- No existing potable water
- Existing bridges and culverts
- Existing electric/telephone poles along 'Akaka Falls Road



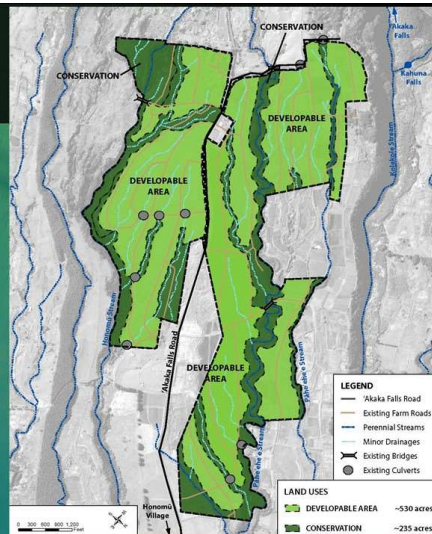
Guiding Principles

- No net increase in runoff from the 10-year storm
- Minimize erosion and polluted runoff
- Minimize visual, sound, and dust impacts
- Protect biologically sensitive environments
- Support community cohesion
- Provide for agriculture-related economic opportunities

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Environmental Concept

- Conservation
~230 acres
- Developable Area
~535 acres



Conservation

- Steep slopes
- Significant drainages
- Potential for habitat restoration



Developable Areas

- Gentle slopes
- Avoid significant drainages



Alternatives

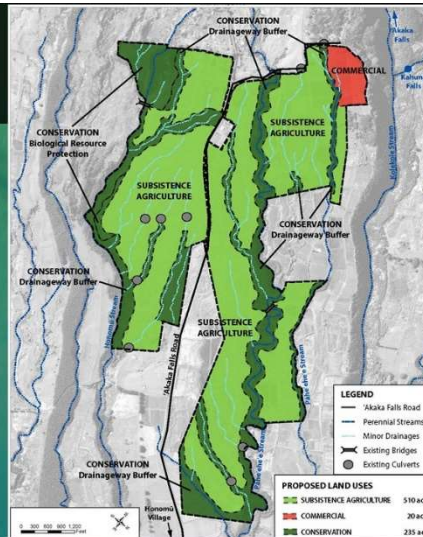
- Maximize Subsistence Agricultural Lots
- Provide for a Variety of Lease and Land Use Options
- No Action

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Alternative A: Maximize Subsistence Agricultural Homestead Lots

LAND USE	APPROX. NO. OF ACRES
Subsistence Agricultural Homestead Lots	510 (67%)
Commercial	20 (3%)
Conservation - Biological Resource Protection - Drainageway Buffer	250 (33%)
TOTAL	766

Estimated number of Subsistence Agricultural Homestead lots: 460



Commercial Land Use

- Adjacent to 'Akaka Falls State Park
- Potential uses:
 - Parking
 - Scenic lookout
 - Agricultural processing
 - Farmers market

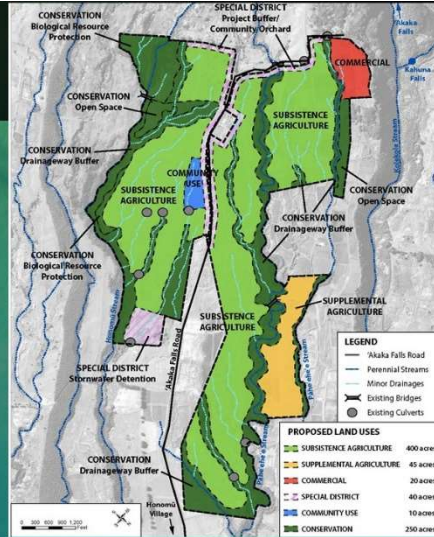


Photo credit: <http://www.jeffsetter.com/things-to-do-on-the-big-island-of-hawaii/>

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Alternative B: Provide for a Variety of Lease & Land Use Options

LAND USE	APPROX. NO. OF ACRES
Subsistence Agricultural Homestead Lots	400 (52%)
Supplemental Agriculture	45 (6%)
Commercial	20 (3%)
Special District - Project Buffer - Stormwater Detention	40 (5%)
Community Use	10 (1%)
Conservation - Biological Resource Protection - Drainageway Buffer - Open Space	250 (33%)
TOTAL	766



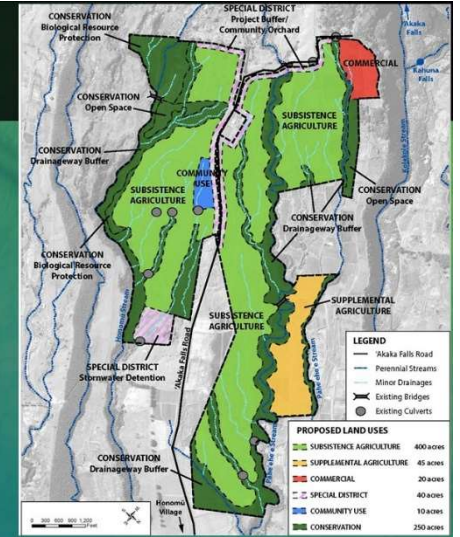
Alternative B: Provide for a Variety of Lease & Land Use Options

Estimated number of Subsistence Agricultural Homestead lots:

120 (all three-acre lots)

to

360 (all one-acre lots)



Supplemental Agriculture

- Gentle slopes
- Avoid significant drainages
- Removed from the main road (protect against ag theft)



Community Use

- Centrally located
- Accessible
- Specific land uses to be determined by the Homestead Community
- Could include:
 - Agricultural training areas
 - Gathering spaces
 - Active or passive recreation space

To Be Determined

Special District

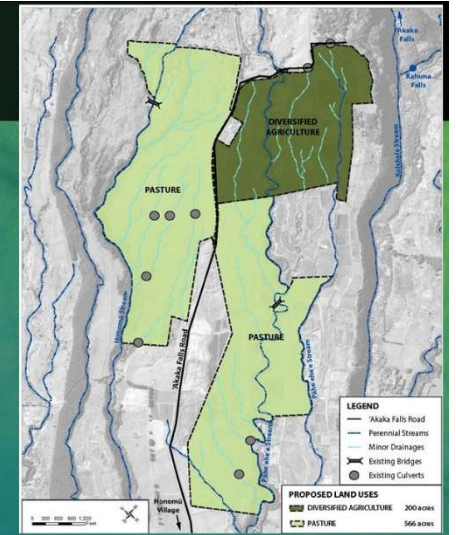
- Project buffers along 'Akaka Falls Road
- Stormwater detention



Alternative C: No Action

LAND USE	APPROX. NO. OF ACRES
Diversified Agriculture	200 (26%)
Pasture	566 (74%)
TOTAL	766

Estimated number of Subsistence Agricultural Homestead lots: 0



Alternatives – Lot Summary

	ALTERNATIVE A Maximize Subsistence Agricultural Homestead Lots	ALTERNATIVE B Variety of Agricultural Lease and Land Use Options	ALTERNATIVE C No Action
Acres available for Subsistence Agriculture	510	400	0
Acres set aside for roads (~10%)	50	40	0
Acres available for lots	460	360	0
Estimated number of homestead lots	460	120 to 360	0

1-acre Lot Sketch

- Single family home: 1,200 sf
- Water catchment: 10,000 gallon tank
- Septic system
- On-site stormwater detention: 4,300 sf
- Farm area: 19,000 sf



Breakout Group Discussion Questions

TOPIC 1: You and your lot

- What would a successful subsistence agriculture homestead mean to you? What does it look and feel like?
- What are you doing with/on your lot?
- What does "actively cultivate" mean to you?
- What kind of training workshops would you need?

TOPIC 2: Ag Homestead Community

- How do you envision working together to build a community?
- What is unique about this homestead community?
- How are you interacting within this homestead and with the larger Honomū community?
- What kind of assistance would you hope to have to help you build this community?

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Next Steps



MAHALO!

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Project website:

<http://dhl.hawaii.gov/po/honomu-subsistence-agricultural-homestead-community/>

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