

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

MAY 19, 2017

ADDENDUM NO. 1

TO

PLANS, BID FORM, SPECIFICATIONS, CONTRACT AND BOND

FOR

PAPAKOLEA SUBDIVISION RETAINING WALL AND STAIR IMPROVEMENTS


PAPAKOLEA, ISLAND OF OAHU, HAWAII

IFB NO.: IFB-17-HHL-014

NOTICE TO ALL PROSPECTIVE BIDDERS

This addendum is hereby made a part of the PLANS, BID FORM, SPECIFICATIONS, CONTRACT AND BOND for the PAKOLEA SUBDIVISION RETAINING WALL AND STAIR IMPROVEMENTS, PAKOLEA, ISLAND OF OAHU, HAWAII, and it shall amend the said contract documents as detailed within this Addendum document.

APPROVED:



Norman Sakamoto, LDD Acting Administrator
Department of Hawaiian Home Lands

Date: May 19, 2017

Please detach, execute, and return immediately, the receipt below, to the Department of Hawaiian Home Lands, Hale Kalaniana'ole, 91-5420 Kapolei Parkway, Kapolei, Hawaii or transmit facsimile to (808) 620-9299.

Receipt of Addendum No. 1 for the PAKOLEA SUBDIVISION RETAINING WALL AND STAIR IMPROVEMENTS is hereby acknowledged.

Signed _____ Title _____

Firm _____ Date _____

ADDENDUM NO. 1
MAY 19, 2017

TO

PLANS, BID FORM, SPECIFICATIONS, CONTRACT AND BOND

FOR

PAPAKOLEA SUBDIVISION RETAINING WALL AND STAIR IMPROVEMENTS

PAPAKOLEA, ISLAND OF OAHU, HAWAII

IFB NO.: IFB-17-HHL-014

ITEM NO. 1 PRE-BID & SITE VISIT MINUTES AND SIGN IN SHEET

A Pre-bid meeting was held at TMK: (1) 2-5-022:026, 2403 Kaululaau Street at 9:00am on Tuesday, May 9, 2017 followed by a site visit. The minutes and sign-in sheet are attached to **ADDENDUM NO 1 (May 19, 2017)**.

ITEM NO. 2 ADDITIONAL 2 SHEETS ADDED TO PLANS TO REVISE SIDEWALK ALONG EXISTING WALL AT 2403 KAULULAAU STREET

There are an additional 2 SHEETS added to the plans which are attached to **ADDENDUM NO 1 (May 19, 2017)**. These sheets detail changes to the sidewalk along the CMU wall.

ITEM NO. 3 REVISED SPECIAL CONDITIONS

Replace page 8 of the Special Conditions with the revised Page 8 attached to **ADDENDUM NO. 1 (May 19, 2017)**. The revised page includes an additional special condition SC-24: VIDEO INSPECTION OF EXISTING SEWER LINE AT STAIRWAY.

**PAPAKOLEA SUBDIVISION RETAINING WALL
AND STAIR IMPROVEMENTS**
IFB-17-HHL-014

Minutes from Pre-bid Conference and Site Visit
9:00 a.m., Tuesday May 9, 2017
2403 Kaululaau Street
TMK: 2-5-022:026

A pre-bid conference and site visit was held on Tuesday, May 9, 2017 at 9:00 am at TMK: (1) 2-5-022:026, 2403 Kaululaau Street, Papakolea. The attendees of the meeting are included on the sign-in sheet attached to these minutes.

Mitchell Kawamura, of DHHL conducted the meeting. The purpose of this pre-bid conference was to provide the following information:

- To provide potential bidders with a project overview and job site visit.
- To review procurement requirements and allow potential bidders the opportunity to ask questions and obtain clarification on the bid documents. A written summary of this pre-bid conference will be published as an Addendum to this IFB and posted on our website at:

<http://www.dhhl.hawaii.gov/procurement/>

- It is the responsibility of Interested Bidders to check the DHHL website for any addenda issued by DHHL
- Requests for clarifications and any questions after this meeting shall be submitted in writing to Mitchell Kawamura no later than 4:00 pm, May 15, 2017, written response to requests will be published in an Addendum to this IFB and posted on our website no later than 4:00 pm, May 23, 2017.

Mitchell Kawamura reviewed the scope of work as detailed below. Kahealani Winchester, Project Manager, from G-70 advised everyone present that there will be a revision to the plans affecting the slope of the sidewalk. Two additional sheets have been added and are included in Addendum No. 1.

Repair of Existing Wall at 2403 Kaululaau Street, Papakolea:

- This project consists of furnishing all labor, equipment, supplies, materials and supervision to satisfactorily make the improvements to the retaining wall and stairs as shown on the drawings provided.

- Portions of the existing CRM retaining wall has shifted horizontally up to 2.5 feet. The existing wall may have shifted either due to excessive hydrostatic pressure behind the retaining wall and/or slope creep.
- The geotechnical report recommends that soil nailing be used to restrain further movement of the wall. The following geotechnical design parameters for the soil nail retaining wall system were used.

GEOTECHNICAL DESIGN PARAMETERS FOR THE SOILNAIL RETAINING WALL SYSTEM		
Geotechnical Design Parameters	Recommended Value	
	SOIL	ROCK
Soil Unit Weight	105 PCF	120 PCF
Friction Angle	32 Degrees	36 Degrees
Ultimate Bond Stress	1,000 PSF	2,000 PSF

- The bond stress which is the pullout resistance per unit area of the grout/soil interface contact, is variable depending on the type of soil and grout, the overburden stress, and the construction procedures used in installing these grouted reinforcing bars (soil nails). For a rough estimate, an average bond stress of 1,000 and 2,000 pounds per square foot may be used for the on-site stiff soils and weathered rock respectively. The bond stress used in the design will need to be confirmed in the field during construction.
- The geotechnical report recommends installing the soil nail anchors with a minimum length of 17 feet to achieve sufficient internal and external stability for the static and seismic loading conditions. The soil nail anchors shall be extended at least 7 feet into the weathered basalt formation, to provide a pullout allowable capacity of 32 KIPS. Actual lengths of the soil nail anchors shall be verified in the field, to confirm adequate embedment in the weathered basalt formation. Therefore, unit prices of the soil nail anchor shall be required of the contractor.
- There shall be two rows of soil nail anchors to provide sufficient internal stability.
- The soil nail pullout capacity shall be verified during construction by proof testing a minimum of 10 percent (rounded up to the next whole number) or five of the

production nails, whichever is greater, to 150 percent of the design capacity.

- As part of the special inspection in accordance with the IBC 2006 Section 1704 – Level 1 Special Inspection, Geolabs shall be retained as the design geotechnical engineer of record for observation of the drilling, grouting and proof testing during soil nail retaining wall construction. The proof testing nails shall be selected by Geolabs after installation based on the drilling and grouting records.

Stairway Improvements between laukea Street and Auwaiolimu St.

- Demolish and remove existing asphalt and other items as necessary for new construction.
- Any soft or saturated soils shall be removed and backfilled with compacted select borrow.
- The cushion fill beneath the slab may be compacted select borrow. Select borrow may be used as fill beneath stair and ramp.
- All select borrow shall be laid in maximum 8” loose lifts and compacted to 95% relative compaction.
- Onsite soil may be used for fill beneath stair and ramp.

The following procurement reminders were included in the agenda and reviewed during the pre-bid conference.

- This project is not tax exempt. Your bid proposal must be inclusive of General Excise Tax.
- This project is subject to Chapter 104 HRS, Department of Labor and Industrial Relations (DLIR) prevailing wages and salaries.
- Substitution Request are due May 17, 2017 by 4:00 pm. Follow the instructions for, Substitution of Materials and Equipment Before Bid Opening, located in the “Instructions for Bid Submittal” item I.G.
- After bid opening and prior to award of the contract, the Department shall verify compliance with Sections 103D-310 and 103D-328 HRS via Hawaii Compliance Express (HCE) for the bidder and all subcontractors. Therefore, the bidder and all subcontractors are encouraged to registered with HCE. Instructions for registration are at the HCE website: <http://vendors.ehawaii.gov>.

- Failure by the bidder and/or any subcontractor to rectify a non-compliant status on HCE within ten business days of notification will be considered as sufficient for the disqualification of the bidder and rejection of its proposal.

Mitchell Kawamura reviewed the completion schedule and let everyone know that the time of performance will be 120 calendar days from the Notice to Proceed with liquidated damages of \$500 per calendar day.

Questions and Answers: Only one question was received and is as follows:

Question: Does DHHL have a vacant lot that can be used for a staging area?

Answer: There is no vacant lot close to the wall on Kaululaau so the road will have to be coned off to accommodate contractor's machinery. There is a possible area by the stairway on laukeya Street that may be used depending on approval by lessee.

A site visit was conducted at both the wall on Kaululaau Street and the Stairway on laukeya Street and the meeting was adjourned.

**PAPAKOLEA SUBDIVISION RETAINING WALL
AND STAIR IMPROVEMENTS**

IFB-17-HHL-014

Submittals and Deadlines Table

SUBMITTAL	DEADLINE
Hawaii Products Request	4:00 pm, May 10, 2017
Written questions due	4:00 pm, May 15, 2017
Pre-bid meeting and Hi Products Addendum <ul style="list-style-type: none"> • Interested bidders are required to check DHHL website for any Addenda issued. 	4:00 pm, May 16, 2017
Notice of Intent to Bid	2:00 pm, May 19, 2017
Final Addendum to include Substitution Request	4:00 pm, May 23, 2017
Bid Opening <ul style="list-style-type: none"> • DHHL Hale Kalaniana'ole 91-5420 Kapolei Parkway Kapolei, HI 96707 	2:00 pm, May 31, 2017
Award of contract will be made to the lowest responsible and responsive "Total Sum Bid", approximately two weeks following bid opening and after certification of the bid tabulation.	

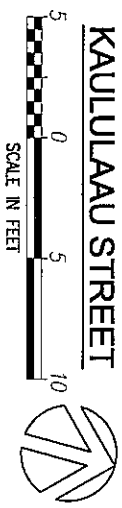
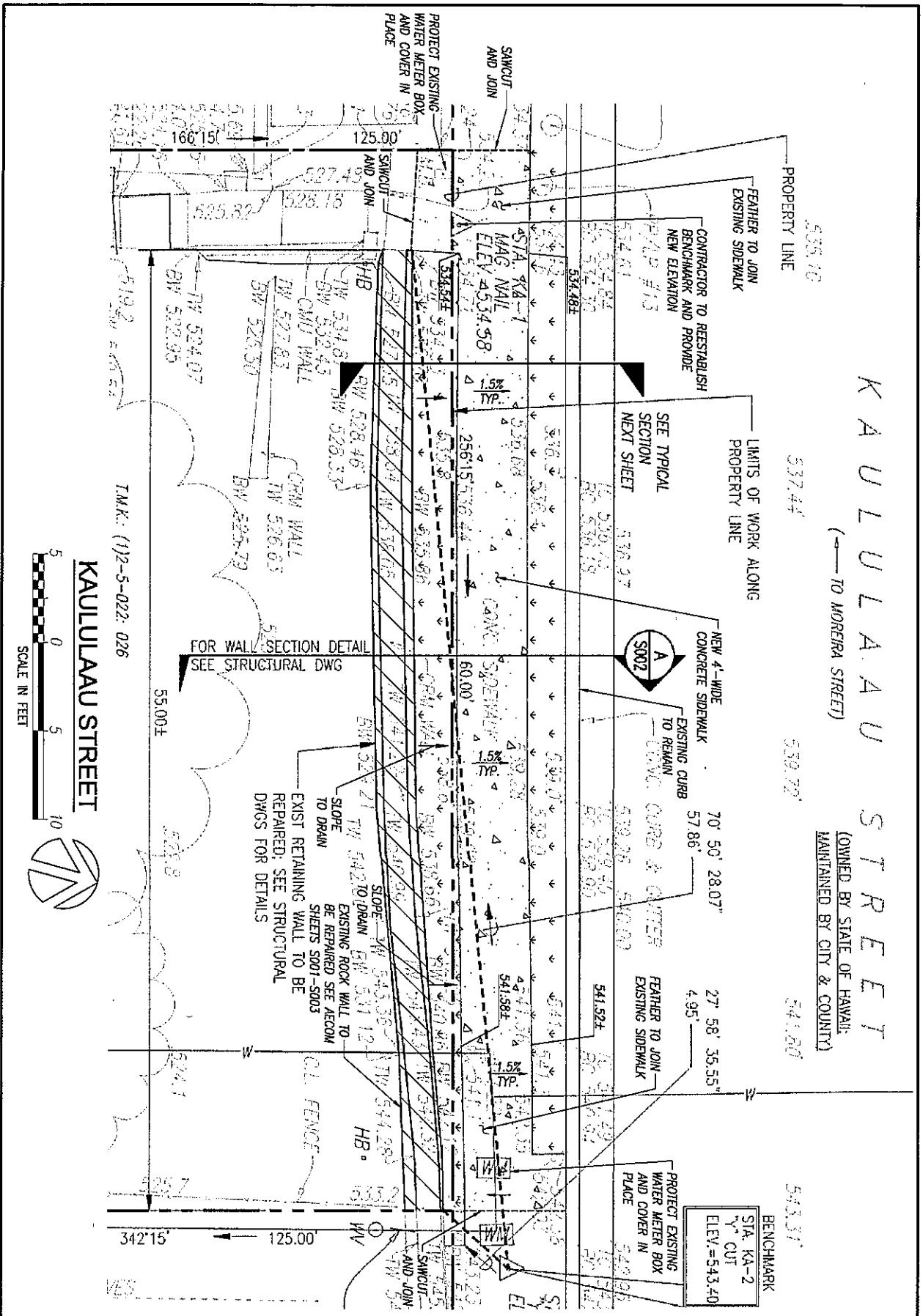
Papakolea Subdivision Retaining Wall and Stair Improvements
 Pre-Bid Conference Sign-in Sheet
 Tuesday, May 9, 2017

	NAME	COMPANY	TITLE	PHONE	EMAIL
1	MITCHELL KAWAMURA	DHHL	PRGT. MGR.	620-9278	mitchell.kawamura@hawaii.gov
2	Peter Gooding	Prometheus Construction	PROJ MGR	954-2615	peter@prometheusconstruction.com
3	Kalena'ani W. Indroster	G70	Proj Mgr	288 -7347	kalena'ani.w@g70.design
4	Craig Sakamashi	SLSH	Structural	942-9100	csakamashi@slshinc.com
5	Taylor Sakamoto	Paradigm Construction	Proj - Engr	847-1646	taylor@paradigmhi.com
6	Kehaulani Quatero	DHHL	Labor Compliance Specialist	620-9284	kehaulani.a.quatero@hawaii.gov
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					

KAULULAAU STREET

(← TO MOREIRA STREET)

(OWNED BY STATE OF HAWAII
MAINTAINED BY CITY & COUNTY)



T.M.K.: (1)2-5-022: 026

KAULULAAU STREET

SCALE IN FEET

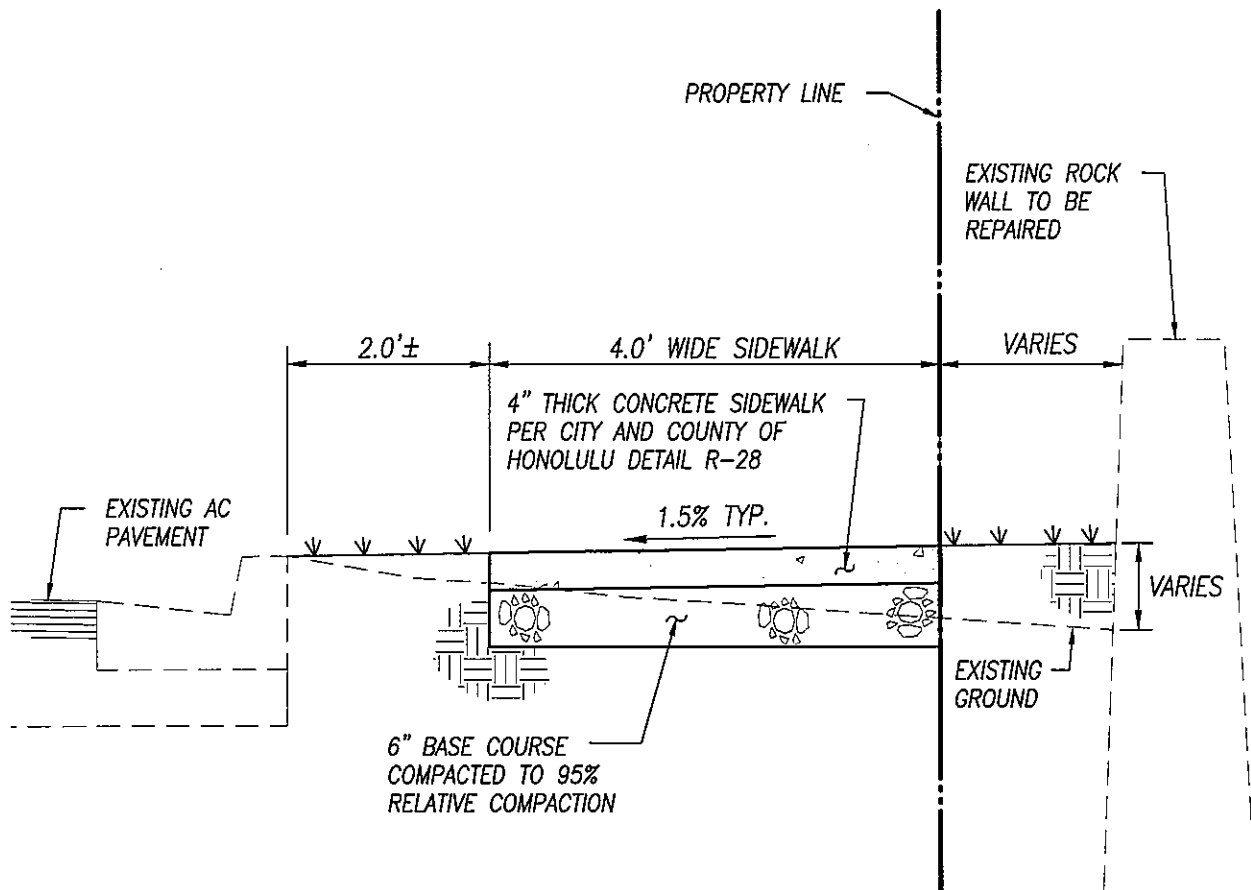
Add.
1

CAD DRAWING:
KAULULAAU STREET
SCALE: 1" = 5'
DATE: 05/11/2017
PROJECT #: 216012-10

DHHL OAHU
KAULULAAU STREET
IMPROVEMENT PLAN



GROUP 70 INTERNATIONAL, INC.
925 BETHEL STREET, 5TH FLOOR
HONOLULU, HAWAII 96813-4398
808-523-5866
WWW.G70.DESIGN



NOTE: FEATHER TO JOIN EXISTING SIDEWALK AT ENDS. MAX 2% CROSS SLOPE AT ALL LOCATIONS.

TYPICAL SECTION

NOT TO SCALE

CAD DRAWING:
KAULULAAU STREET
DATE: 05/11/2017
SCALE: 1" = 5'
PROJECT #: 216012-10

DHHL OAHU
KAULULAAU STREET
TYPICAL SECTION



GROUP 70 INTERNATIONAL, INC.
925 BETHEL STREET, 5TH FLOOR
HONOLULU, HAWAII 96813-4398
8 0 8 5 2 3 5 8 6 6
W W W . G 7 0 . D E S I G N

Add.
1



STATE OF HAWAII
SPECIAL CONDITIONS

company indicating that acceptance of the contract work for the project has been granted to DHHL. Copies of the letters shall be submitted to DHHL.

2. Signature, execution, and return of the “Record Drawing” Title tracings.

Payment for all work required to comply with the above items will not be paid for separately but shall be considered incidental to the various contract items.

SC-24 VIDEO INSPECTION OF EXISTING SEWER LINE AT STAIRWAY

Prior to commencement of construction, Contractor shall video inspect the existing sewer line under the sidewalk between Auwaiolimu Street and Iaukea Street to determine its pre-project condition. Contractor shall provide the video to the DHHL and engineer for review. If the sewer line is determined to be in poor condition the contractor shall notify the DHHL for appropriate action, which may include replacement or repair prior to the commencement of Construction. The scope and cost of the repair will be determined through an approved change order to the contract. Contractor shall also video inspect the sewer line post construction to verify that damage was not done to the existing sewer line. Contractor shall provide this video as well to the DHHL and engineer to review. Contractor shall be responsible for any damages done to the sewer line during construction.