

DEPARTMENT OF HAWAIIAN HOME LANDS
STATE OF HAWAII

JANUARY 30, 2017

ADDENDUM NO. 1 TO
REQUEST FOR PROPOSALS
No. RFP-17-HHL-003

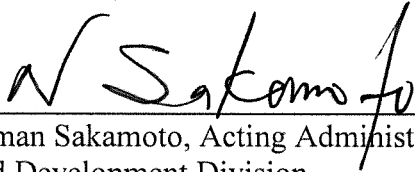
SEALED OFFERS
FOR
SINGLE FAMILY HOMES AT KAULUOKAHAI, INCREMENT IIB SUBDIVISION

LOCATION: EAST KAPOLEI, OAHU, HAWAII

NOTICE TO ALL PROSPECTIVE OFFERORS

This addendum is hereby made a part of the Request for Proposals documents for SINGLE FAMILY HOMES AT KAULUOKAHAI, INCREMENT IIB SUBDIVISION, EAST KAPOLEI, OAHU, HAWAII, and it shall amend the said Request for Proposals documents as detailed within this Addendum document.

APPROVED:



Norman Sakamoto, Acting Administrator
Land Development Division

Date: January 30, 2017

Please detach, execute, and return immediately, the receipt below, to the Department of Hawaiian Home Lands, P. O. Box 1879, Honolulu, HI 96805, or by facsimile to 620-9299.

Receipt of Addendum No. 1 for RFP-16-HHL-001, SINGLE FAMILY HOMES AT KAULUOKAHAI, INCREMENT IIB SUBDIVISION, is hereby acknowledged.

Signed _____

Title _____

Firm _____

Date _____

ADDENDUM NO. 1 TO RFP-17-HHL-003
SEALED OFFERS
FOR
SINGLE FAMILY HOMES AT KAULUOKAHAI, INCREMENT IIB SUBDIVISION

AMENDMENTS TO THE RFP

RPF

Section 2.2.4, 11): Upon completion of each house, the Developer shall import and install top soil ~~and grass on~~ all exposed areas around the house, and grass the front yards. Developer shall maintain all common area grassing within the subdivision until the all houses are accepted by DHHL and lessees. Grassing and vegetation on each lot shall be cut just prior to homeowner move-in.

Section 3.10.5: Add subsection e. Exhibits.

OF-2

Revised Basic Instructions for Packaging of Proposals is attached.

PRE-SUBMITTAL MEETING

Agenda and sign-in sheet from the Pre- Submittal Meeting are attached.

REQUESTS FOR CLARIFICATION

Questions asked at the Pre-Submittal Meeting and Site Inspection

1. Is there an existing stock pile of top soil located on or near the site which will be utilized for the homes or will the developer need to provide top soil?

Material from existing berm on Increment IIE (see Exhibit O) may be used. This is material was removed from increments IIB and IIC during mass grading. Prior to that, an environmental site assessment had been conducted and determined that there were no elevated concentrations of chemicals of in the soil that suggest conditions are not suitable for residential reuse.

2. Is the developer responsible for grubbing the weeds on the lots?

Yes, include in the house price calculations with other lot preparation costs.

3. Who is responsible for grassing the planter strips along the roadways?

Planter strips had been grassed by site contractor. If replanting is necessary, include in house price with other lot preparation costs.

4. Some items in the green building check list refer to the site. Will DHHL fill out the site related questions?

Do not score site-related items (Section 1 of the Hawaii BuiltGreen checklist).

5. What is the judging criteria to conformity with the target living area and sales prices?

Each house model will be scored based on cost to lessees, and price per square foot.

6. How many undivided interest lessees are on the list for 2B and 2C?

205 awards for 290 lots.

7. Do front and rear yards need to be grown in before move in? If not, is the homeowner responsible for watering their yards upon move in?

Grassing in front yards shall be grown, and trimmed at least once before turn-over to buyer. RPF Section 2.2.4, 11) has been amended.

8. When will the vacant lot awardees be allowed access to their lots?

For the Kakaina Subdivision in Waimanalo, beneficiaries were able to select any of the lots for a turnkey house or vacant lot award. As a result, the developer lots are interspersed with vacant lots. Due to concerns about liability, and effects on productivity, the vacant lot awardees will not be allowed to start construction of their houses until after the turnkey houses are completed.

The Kauluokahai Increment IIB developer lots have been segregated from the owner-builder and self-help lots to reduce the possibility of issues during construction. The vacant lot awardees will thus be allowed to start construction as soon as they are ready.

9. There are differences between 3.10.5 and Offer Form OF-2, Basic Instructions for Packaging of Proposals. Which should be followed?

Section 3.10.5 has been amended, and the Offer Form OF-2 instructions have been revised.

10. What are examples of unusual or unacceptable terms and conditions which would incur the 10 point scoring penalty?

The penalty has not been used in the scoring of a house developer RFP. This is an example of an unreasonable condition proposed in response to a land acquisition RFP: The land would be sold to DHHL, converted from agricultural zoning to residential zoning through DHHL's exemption powers, then sold back to the original owner.

11. Will a preference awarded for using the DHHL zero-interest loan?

No. However, it is expected that the elimination of financing costs would result in house prices which would be lower than the prices using a conventional construction loan, thus a higher score for criteria 2.

12. Is a sample loan document available for review?

No. The DHHL zero-interest loan has not been used previously; a template has not been drafted.

13. How accurate does the breakdown between labor and material costs need to be?

Accuracy in the breakdown is not critical. The scoring will be on proposed sales price and cost per square foot.

14. Was financial pre-qualification required for award of an Undivided Interest Lease?

No. The Undivided Interest Lease program was implemented because many beneficiaries need to improve their financial situation to qualify for a mortgage. It was assumed that awarding leases while the subdivision was being designed would give the awardees the time and incentive to pay down debt, get a higher paying job, etc.

15. Do the composite plot plans for each lot need to be submitted with the proposal?

No. The final product mix and assignment of models to each lot will be determined through discussions between DHHL and the developer prior to the orientation meeting.

16. Will the lots released to the developer in phases?

No. A single notice to proceed will be issued for all 100 lots. The developer shall determine the construction schedule and whether phasing is necessary.

17. In previous projects, beneficiaries have demonstrated a demand for larger houses instead of Model A.

DHHL does not expect a significant demand for Model A houses either. The intent is to make the home purchase opportunity available to as many as possible.

18. Is a lessee profile available showing pre-qualification amounts, desired house sizes, etc.?

We have requested a report from the HALE program manager.

Questions asked after the Pre-Submittal Meeting

1. What is the required side setback on corner lots? Exhibit G, Construction Plans, sheets C-2 and C-3 indicate 15 feet. Exhibit M, Design Guidelines, section B., xix. indicates 6 feet.

For corner lots, the side without the driveway apron shall have a setback of not less than 6 feet.

2. Are CAD files of the infrastructure plans available?

Yes. Please send a request via e-mail to Darrell.h.ing@hawaii.gov. The files will be copied to a CD and mailed.

3. For OF-1A, item 1.(h) [Certification that the Offeror is not in default or has failed to perform under any contract, agreement, development or design-build agreement, or lease with the

State of Hawaii, and does not have any outstanding judgments] – does this refer to the certificate that we obtain from HCE?

No. This is a statement by an authorized corporate officer.

4. For item 3.10.3 on page 18 of the RFP [If subcontractor(s) will be used, append a statement to the transmittal letter from each subcontractor, signed by an individual authorized to legally bind the subcontractor], do you have a sample form that we can follow?

This can be a letter from the subcontractor signed by an authorized corporate officer, or a copy of the subcontract. If work will be done by subcontractors, but the individual firms have not yet been determined, please indicate on Offer Form OF-2, Section G Conditions / Exceptions.

ATTACHMENTS

Agenda and sign-in sheet from the Pre- Submittal Meeting

OF-2, Basic Instructions for Packaging of Proposals

Single Family Homes at Kauluokahai, Increment IIB

RFP-17-HHL-003

Pre-Proposal Conference

9:00 a.m., Monday, January 25, 2017

Scope of Work:

Design, construction, financing, and marketing of approximately 100 single-family houses at Kauluokahai, Increment IIB, located in East Kapolei, Oahu.

Other projects in the vicinity

Special Olympics Hawaii

Ho'opili

Keahumoa Place

Middle School

Rail Station

General Requirements

General Excise Tax exempt

Subject to Department of Labor and Industrial Relations and Davis Bacon prevailing wages and salaries

Section 103D-310 HRS – after bid open, DHHL shall verify through Hawaii Compliance Express

Section 103-55.6 HRS – Apprenticeship Agreement Preference

Chapter 103B HRS – Employment of State Residents on Construction Projects

Proposal Security required – minimum \$1,287,500

Project Specific Information

Desired house prices

Undivided Interest Awards

DHHL Loan

ADA

Sandwich Isles Communications

Scoring Criteria

Offeror's qualifications, experience, financial strength, creativity, and track record in house construction projects of a similar nature. 20

Proposed house prices (including adjustments for preferences as applicable). 20

Proposed housing designs. 20

Proposed outline specifications. 15

Green building features. 10

Proposed financing 10

Proposed project schedule. 5

Unusual or unacceptable terms and conditions (potential penalty of up to 10 points).

TOTAL POSSIBLE POINTS 100

Estimated Development Schedule

Execute Development Agreement May 2017
Lessees Select Lots, Contract for Houses July 2017
House Construction Starts September 2017
First Occupancy April 2017
Last House Complete October 2018

Deadlines

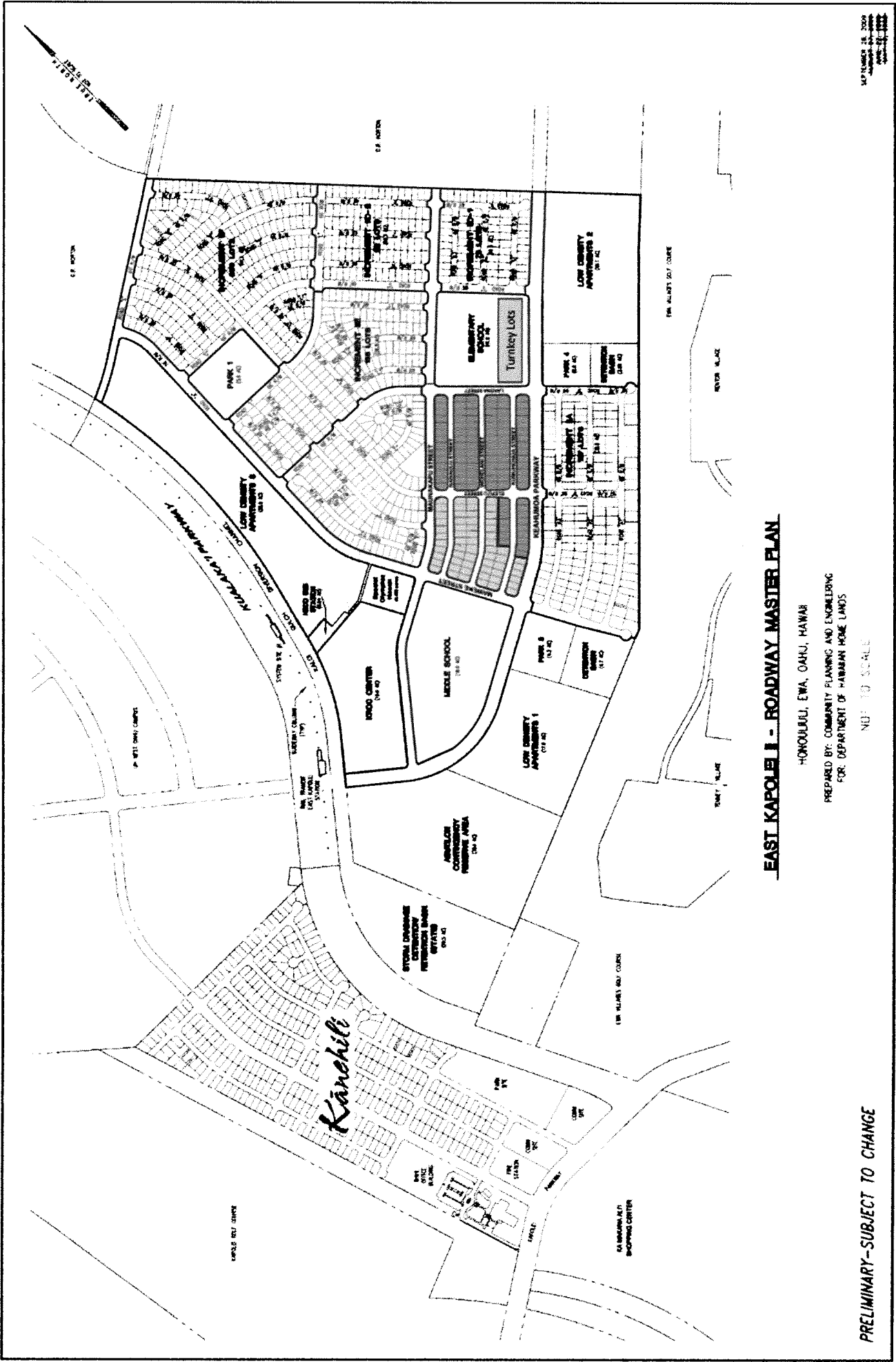
Final deadline for written inquiries – February 16, 2017
Intent to Submit Offer – February 17, 2017
Respond to questions/ Issue addenda – February 20, 2017
Bid submittal/opening – February 27, 2017, 2:00 pm
Deliver to Hale Kalaniana'ole, 91-5420 Kapolei Parkway

Questions

Site Inspection: following pre-bid meeting

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DHHL Contact: Darrell Ing
Telephone: 620-9276
Fax: 620-9299
e-mail: Darrell.H.Ing@Hawaii.gov



EAST KAPOLEI I - ROADWAY MASTER PLAN

HONOLULU, EWA, OAHU, HAWAII

PREPARED BY: COMMUNITY PLANNING AND ENGINEERING
 FOR: DEPARTMENT OF HAWAIIAN HOME LANDS

NOT TO SCALE

PRELIMINARY - SUBJECT TO CHANGE

1. All dimensions and locations are approximate and should not be used for construction. The final and official map shall be that of the Department of Hawaiian Home Lands.

Single Family Homes at Kaulokahai, Increment IIB
 RFP-17-HHL-003
 Pre-Proposal Conference
 9:00 a.m., Wednesday, January 25, 2017

Name	Company/Agency	Telephone/ Fax/ Cell	e-mail
Darrell Ing	DHHL	T: 620-9276 F: 620-9299 C: 554-8966	darrell.h.ing@hawaii.gov
Michelle Ohta	PRITHAM	528-9083	mohala@pritham.com
Rick Melchor	CLOSE CONST.	234-4579	rick@closeconstruction.com
TODD KOISHIBAND	BOOMAN TERMITE	206-22917	TODD@BOOMANTERMITE.COM
ALFREDO GONZALEZ	FINE BUILDERS LLC	230 4851	INFO@FINEBUILDERSLLC.COM
Tui	Niutupuwaha Elec.	254-423-0665	tui@niutupuwahaelectric.com
MIKE BEAUT	GENTRY HOMES, LTD	599-8229	MIKES@GENTRYHAWAII.COM
Rakee Shiomi-Tajima	Gentry Homes	599-8294	Rakee@GentryHomes.com
Kurt Mitchell	FIM ARCHITECTS	550-0844	KurtMitchell@fimarhitects.com

Single Family Homes at Kauluokahai, Increment IIB
 RFP-17-HHL-003
 Pre-Proposal Conference
 9:00 a.m., Wednesday, January 25, 2017

Name	Company/Agency	Telephone/ Fax/ Cell	e-mail
Rocky RIVERA	LEWARD ROOFING	696-5660 cell 479-1467	LRYC@LEWARDROOFING.COM
John Shaw	Gentry	599-8281	johns@gentryhawaii.com
Deb Luning	"	599-8370	DebbieL@gentryhawaii.com
Kevin Wilcock	RM ARCHITECTS		kwilcock@rmanchitects.com
KEO MIYAZAKI	COOPER & COOPER HAWAII INC	(26-3609	JMIYAZAKI@COOPERCOOPER.COM
BRUCE BARNETT	COOPER & COOPER	548-3744	—
Garret Furukawa	"	548-2991	—
Keith Sawamura	Design Partners Inc.	432-9411	Keith@designpartnersinc.com
Bob Keyser	Gentry Builders	447-8580	bobk@gentryhawaii.com

Single Family Homes at Kauluokahai, Increment IIB
 RFP-17-HHL-003
 Pre-Proposal Conference
 9:00 a.m., Wednesday, January 25, 2017

Name	Company/Agency	Telephone/ Fax/ Cell	e-mail
McKibbin Mist	Centry Builders	867-3307	mckibbin@centryhawaii.com
Lily Tuman	BIC	284-3683	lilyt@sandwichisles.com
David Sandman	ARMSTRONG	5205276	daniel@armstrongbuilders.com
MARC PUTMAN	ARMSTRONG	753-0022	marc@armstrongbuilders.com
Quentyn Marshall	Centry Homes	477-2680	quentyn@centryhawaii.com
Rick Hobson	Centry Homes	292-0522	rick@centryhawaii.com

Basic Instructions for Packaging of Proposals

1. Please package your proposal in 3-ring binder.
2. Major sections of the proposal shall be identified by "Tabs".
3. Section I of the Proposal shall be the Transmittal Letter.
4. Section II of the Proposal shall be "Offer Form OF-1".
5. Section III of the Proposal shall be "Offer Form OF-1A".
6. Section IV of the Proposal shall be this "Offer Form OF-2".
7. Section V of the Proposal shall be exhibits. All drawings and exhibits to the proposal shall be neatly folded and clipped into the 3-ring binder.
8. Fill in all blank spaces with information requested; failure to provide all requested information may cause the proposal to be invalidated.
9. Please submit an original and five (5) copies of your proposal, for a total of six (6) sets.
10. An Offeror shall request in writing nondisclosure of information such as designated trade secrets or other proprietary data Offeror considers to be confidential. Such requests for nondisclosure shall accompany the proposal, be clearly marked, and shall be readily separable from the proposal in order to facilitate eventual public inspection of the non-confidential portion of the proposal.